

WILLIAMSON COUNTY, TEXAS  
**VICINITY MAP**  
SCALE: 1" = 2,000'

**TEMPORARY BENCHMARK "A"** ELEVATION — 826.43  
TEMPORARY BENCHMARK "A" IS A BOX CUT SET ON CONCRETE ON THE SOUTH R.O.W. OF UNIVERSITY BOULEVARD, BEING APPROXIMATELY 1,275 FEET SOUTHWEST OF THE INTERSECTION OF UNIVERSITY BOULEVARD AND CO ROAD 118.

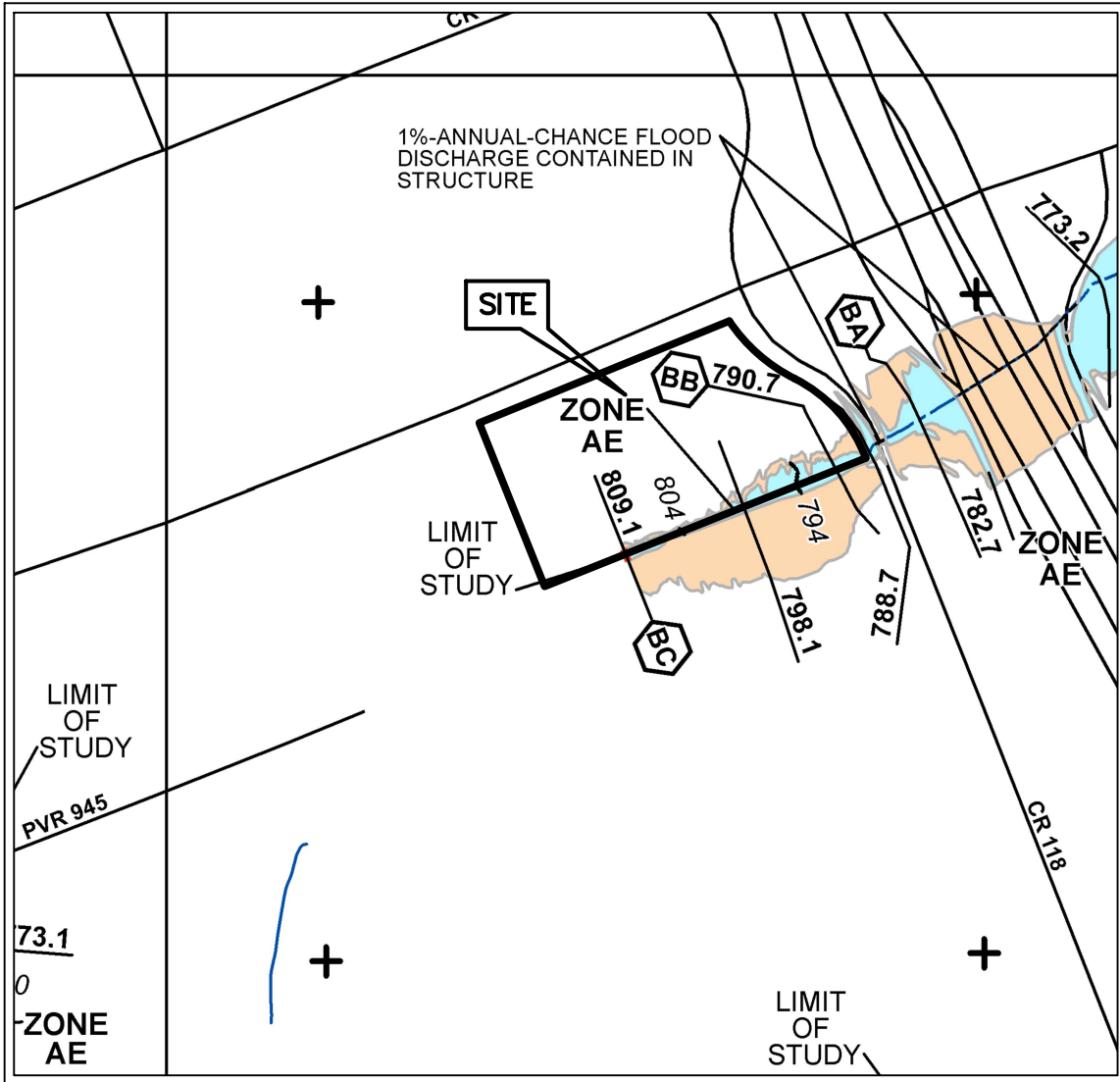
**TEMPORARY BENCHMARK "B"** ELEVATION — 786.90  
TEMPORARY BENCHMARK "B" IS A BOX CUT SET ON A CONCRETE ON THE WEST R.O.W. OF CO ROAD 118, BEING APPROXIMATELY 1,000 FEET SOUTHEAST OF THE INTERSECTION OF CO ROAD 118 AND UNIVERSITY BOULEVARD.

**SCHEDULE 'B' NOTES**

- 10b. EASEMENT, RIGHT OF WAY AND/OR AGREEMENT GRANTED TO JONAH WATER SUPPLY CORPORATION, BY INSTRUMENT RECORDED IN/UNDER VOLUME 634, PAGE 905 OF THE DEED RECORDS, WILLIAMSON COUNTY, TEXAS. (AFFECTS SUBJECT TRACT, UNABLE TO LOCATE)
- 10c. EASEMENT, RIGHT OF WAY AND/OR AGREEMENT GRANTED TO JONAH WATER SUPPLY CORPORATION, BY INSTRUMENT RECORDED IN/UNDER VOLUME 634, PAGE 906 OF THE DEED RECORDS, WILLIAMSON COUNTY, TEXAS. (DOES NOT AFFECT SUBJECT TRACT, UNABLE TO LOCATE)
- 10d. EASEMENT, RIGHT OF WAY AND/OR AGREEMENT GRANTED TO JONAH WATER SPECIAL UTILITY DISTRICT, BY INSTRUMENT RECORDED IN/UNDER DOCUMENT NUMBER 9839792 OF THE OFFICIAL PUBLIC RECORDS, WILLIAMSON COUNTY, TEXAS. (AFFECTS SUBJECT TRACT, UNABLE TO LOCATE)
- 10e. EASEMENT, RIGHT OF WAY AND/OR AGREEMENT GRANTED TO WILLIAMSON COUNTY, TEXAS, BY INSTRUMENT RECORDED IN/UNDER DOCUMENT NUMBER 2006050948 OF THE OFFICIAL PUBLIC RECORDS, WILLIAMSON COUNTY, TEXAS. (DOES NOT AFFECT SUBJECT TRACT)

CALLED 55.34 ACRES  
STUART CAFFEY — 1/2 INTEREST,  
AND JEFF SAUNCE — 1/2 INTEREST,  
W.C.C.F. NO. 2006032480

**FLOOD INFORMATION  
(NOT TO SCALE)**



**WILLIAMSON COUNTY, TEXAS**  
and Incorporated Areas  
PANEL 505 OF 750

Panel Contains:  
COMMUNITY NUMBER PANEL SUFFIX  
GEORGETOWN CITY OF WILLIAMSON COUNTY 481068 0506 F  
481079 0506 F

**FEMA**

VERSION NUMBER: 2.3.3.3  
MAP NUMBER: 484910505F  
MAP REVISION: DECEMBER 20, 2019

CURVE CHART					
CURVE	RADIUS	DELTA	LENGTH	BEARING	CHORD
C1	850.00'	29°36'08"	439.16'	S 48°37'57" E	434.29'
C2	724.00'	43°10'11"	545.50'	S 41°50'55" E	532.69'

**LEGEND**

- \* SOME OF THESE ELEMENTS MAY NOT BE USED ON THIS SURVEY
- BO — BOLLARD
  - — HANDICAP
  - — GAS METER
  - — GAS VALVE
  - — FIRE HYDRANT
  - — WATER METER
  - — WATER VALVE
  - — IRRIGATION CONTROL VALVE
  - — GRATE INLET
  - — GRATE INLET
  - — MANHOLE
  - — CLEANOUT
  - — TELEPHONE PEDESTAL
  - — ELECTRIC BOX
  - — TRAFFIC SIGNAL BOX
  - — LIGHT POLE
  - — TRAFFIC LIGHT POLE
  - — GROUND/SPOT LIGHT
  - PP — POWER POLE
  - PP/T — POWER POLE W/TRANSFORMER
  - PP/AT — POWER POLE W/LIGHT
  - PP/CT — POWER POLE W/CONDUIT
  - MP — METER POLE
  - SP — SERVICE POLE
  - GAC — GUY ANCHOR
  - P — OVERHEAD POWER LINE
  - — BARBED WIRE FENCE
  - — WROUGHT IRON FENCE
  - — CHAINLINK FENCE
  - — GATE POST
  - (P) — PER PLANS
  - APPROX. — APPROXIMATE
  - — HIGHBANK
  - — SIGN
  - PLM — PIPELINE MARKER
  - UCS — UNDERGROUND CABLE SIGN
  - STL — CATHODIC TEST LEAD
  - MW — MONITORING WELL
  - P — PIN FLAG/PAINT MARK
  - TC — TOP OF CURB
  - G — GUTTER
  - TG — TOP OF GRATE
  - FL — FLOW LINE
  - HB — HIGHBANK
  - SB — SANITARY SEWER
  - STM — STORM SEWER
  - CMP — CORRUGATED METAL PIPE
  - CPP — CORRUGATED PLASTIC PIPE
  - RCP — REINFORCED CONCRETE PIPE
  - TEL — TELEPHONE
  - SWBT — SOUTHWESTERN BELL TELEPHONE CO.
  - WTR — WATER
  - UGR — UNDERGROUND
  - FND — FOUND
  - W.C.C.F. — WILLIAMSON COUNTY CLERK FILE
  - W.C.D.R. — WILLIAMSON COUNTY DEED RECORDS
  - W.C.M.R. — WILLIAMSON COUNTY MAP RECORDS
  - IP — IRON PIPE
  - IR — IRON ROD
  - NO. — NUMBER
  - PG. — PAGE
  - R.O.W. — RIGHT-OF-WAY
  - SQ. FT. — SQUARE FEET
  - VOL. — VOLUME
  - F.C. — FILM CODE
  - B.L. — BUILDING LINE
  - U.E. — UTILITY EASEMENT
  - ○ — TREE/SHRUB

REVISIONS		
DATE	REASON	BY

**DESCRIPTION**

A TRACT OR PARCEL CONTAINING 31.72 ACRES OR 1,381,821 SQUARE FEET OF LAND SITUATED IN THE HENRY MILLARD SURVEY, ABSTRACT NO. 452, WILLIAMSON COUNTY, TEXAS, BEING OUT OF A CALLED 60 ACRES, DESCRIBED IN DEED TO AUDELL JAECKS PAYNE OR ROBERT E. PAYNE, TRUSTEES, OR THEIR SUCCESSORS IN TRUST, UNDER THE AUDELL JAECKS PAYNE REVOCABLE LIVING TRUST, DATED MARCH 05, 2019 AND ANY AMENDMENTS THERETO, AS RECORDED UNDER WILLIAMSON COUNTY CLERK'S FILE (W.C.C.F.) NO. 2019021683, WITH SAID 31.72 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS, WITH ALL BEARINGS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE (NAD 83):

BEGINNING AT A CAPPED 5/8 INCH IRON ROD STAMPED "WINDROSE" SET ON THE SOUTHEAST RIGHT-OF-WAY (R.O.W.) LINE OF UNIVERSITY BOULEVARD/CHANDLER ROAD (200' WIDTH), AS RECORDED UNDER W.C.C.F. NO. 2005010100 AND THE SOUTHWEST R.O.W. LINE OF C.R. 118 (WIDTH VARIES), AS RECORDED UNDER W.C.C.F. NO. 2005011586 AND BEING THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, WITH A CURVE TO THE LEFT, WITH THE SOUTHWEST R.O.W. LINE OF SAID C.R. 118, HAVING A RADIUS OF 850.00 FEET, A CENTRAL ANGLE OF 29 DEG. 36 MIN. 08 SEC., AN ARC LENGTH OF 439.16 FEET, AND A CHORD BEARING AND DISTANCE OF SOUTH 41 DEG. 50 MIN. 55 SEC. EAST, — 532.69 FEET TO A CAPPED 1/2 INCH IRON ROD STAMPED "TX" FOUND ON THE SOUTH LINE OF SAID 60 ACRE TRACT AND BEING THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, WITH A CURVE TO THE RIGHT, CONTINUING WITH THE SOUTHWEST R.O.W. LINE OF SAID C.R. 118, HAVING A RADIUS OF 724.00 FEET, A CENTRAL ANGLE OF 43 DEG. 10 MIN. 11 SEC., AN ARC LENGTH OF 545.50 FEET, AND A CHORD BEARING AND DISTANCE OF SOUTH 41 DEG. 50 MIN. 55 SEC. EAST, — 532.69 FEET TO A CAPPED 1/2 INCH IRON ROD STAMPED "TX" FOUND ON THE SOUTH LINE OF SAID 60 ACRE TRACT, A DISTANCE OF 1,726.27 FEET TO A CAPPED 5/8 INCH IRON ROD FOUND FOR THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT, FROM WHICH A 3/8 INCH IRON ROD FOUND BEARS FOR REFERENCE NORTH 64 DEG. 01 MIN. EAST, 87.92 FEET;

THENCE, SOUTH 68 DEG. 13 MIN. 28 SEC. WEST, WITH THE SOUTH LINE OF SAID 60 ACRE TRACT, A DISTANCE OF 1,726.27 FEET TO A CAPPED 5/8 INCH IRON ROD STAMPED "WINDROSE" SET ON THE SOUTH R.O.W. LINE OF SAID UNIVERSITY BOULEVARD/CHANDLER ROAD AND BEING THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, NORTH 21 DEG. 46 MIN. 55 SEC. WEST, WITH THE WEST LINE OF SAID UNIVERSITY BOULEVARD/CHANDLER ROAD, A DISTANCE OF 1,347.37 FEET TO THE POINT OF BEGINNING AND CONTAINING 31.72 ACRES OR 1,381,821 SQUARE FEET OF LAND, PREPARED BY WINDROSE LAND SERVICES.

**EXHIBIT  
"A"**

**GENERAL NOTES**

1. SURVEYOR DID NOT ABSTRACT SUBJECT PROPERTY. THIS SURVEY WAS PREPARED WITH INFORMATION CONTAINED IN TITLE COMMITMENT FILE NO. 1481457 OF STEWART TITLE GUARANTY COMPANY, EFFECTIVE DATE OF NOVEMBER 5, 2021, ISSUED DATE OF NOVEMBER 16, 2021, AND IS SUBJECT TO THE LIMITATIONS OF THAT COMMITMENT.
2. BEARINGS WERE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE (NAD 83). ALL DISTANCES SHOWN HEREON ARE SURFACE DISTANCES AND MAY BE BROUGHT TO GRID BY APPLYING THE FOLLOWING SCALE FACTOR: 0.999872350.
3. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP (FIRM) FOR WILLIAMSON COUNTY, TEXAS, MAP NO. 48491C0505F REVISED/DATED DECEMBER 20, 2019, THE SUBJECT TRACT APPEARS TO LIE WITHIN UNSHADED ZONE "X" AND "AE" FLOOD ZONE. THIS DETERMINATION WAS DONE BY GRAPHIC PLOTTING AND IS APPROXIMATE ONLY, AND HAS NOT BEEN FIELD VERIFIED. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF WINDROSE LAND SERVICES.
4. READILY VISIBLE IMPROVEMENTS AND UTILITIES WERE LOCATED WITH THIS SURVEY. NO SUBSURFACE PROBING, EXCAVATION OR EXPLORATION WAS PERFORMED BY WINDROSE LAND SERVICES.
5. ENVIRONMENTAL AND DRAINAGE ISSUES ARE BEYOND THE SCOPE OF THIS SURVEY.
6. THE SQUARE FOOTAGE TOTALS SHOWN HEREON ARE BASED ON THE MATHEMATICAL CLOSURE OF THE COURSES AND DISTANCES REFLECTED ON THE SURVEY. IT DOES NOT INCLUDE THE TOLERANCES THAT MAY BE PRESENT DUE TO THE POSITIONAL ACCURACY OF THE BOUNDARY MONUMENTATION.
7. FENCES SHOWN HEREON WITH DIMENSIONAL TIES ARE SHOWN WHERE THEY ARE PHYSICALLY MEASURED. THE FENCE MAY MEANDER BETWEEN MEASURED LOCATIONS.
8. THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE EXPRESSED OR IMPLIED.
9. ELEVATIONS SHOWN TO THE NEAREST TENTH ARE NATURAL GROUND SURFACE ELEVATIONS AND ELEVATIONS SHOWN TO THE NEAREST HUNDRETH ARE SOLID SURFACE ELEVATIONS.
10. UTILITIES WERE FIELD VERIFIED WHERE POSSIBLE. OTHER UTILITY PLANS OR INFORMATION MAY EXIST NOT KNOWN TO THIS COMPANY.
11. SURVEYOR DID NOT PHYSICALLY ENTER MANHOLES. UNDERGROUND PIPE SIZES WERE DETERMINED BY A "MEASURE DOWN" METHOD FROM TOP OF MANHOLE RIM OR TOP OF GRATE OR TOP OF CURB AND WERE COMPARED WITH UTILITY PLANS WHERE POSSIBLE.
12. SURVEYOR HAS CONTACTED DIGTSS FOR LOCATION OF BURIED UTILITY AND FIBER OPTIC LINES PRIOR TO THIS SURVEY. SURVEYOR CANNOT CERTIFY OR GUARANTEE THE ACCURACY OR COMPLETENESS OF THIS REQUEST. OTHER UNDERGROUND UTILITY LINES MAY EXIST NOT KNOWN TO THIS COMPANY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT DIGTSS OR OTHER UTILITY NOTIFICATION SERVICES FOR LOCATION OF UNDERGROUND UTILITIES, PRIOR TO CONSTRUCTION.
13. WITH REGARD TO ITEM 2 OF THE ALTA TABLE "A" OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, ACCORDING TO THE WILLIAMSON COUNTY APPRAISAL DISTRICT, THE ADDRESS OF THE SUBJECT TRACT (TAX ID NO. R511718) IS 3600 E UNIVERSITY AVE, GEORGETOWN, TX 786260.
14. WITH REGARD TO ITEM 6 OF THE ALTA TABLE "A" OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, NO ZONING REPORT WAS PROVIDED AT THE TIME OF SURVEY.
15. WITH REGARD TO ITEM 9 OF THE ALTA TABLE "A" OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, THERE WAS NO OBSERVED EVIDENCE OF IDENTIFIABLE PARKING SPACES, PARKING LOTS OR STRUCTURES ON THE SUBJECT TRACT AT THE TIME OF SURVEY.
16. WITH REGARD TO ITEM 16 OF THE ALTA TABLE "A" OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, THERE WAS NO OBSERVED EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE SUBJECT TRACT AT THE TIME OF SURVEY.
17. WITH REGARD TO ITEM 17 OF THE ALTA TABLE "A" OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET, SIDEWALK CONSTRUCTION OR REPAIRS ON THE SUBJECT TRACT AT THE TIME OF SURVEY.
18. ELEVATIONS HEREON ARE BASED UPON A NGS OPUS SOLUTION DERIVED FROM ON-SITE STATIC GPS OBSERVATIONS CONDUCTED AT THE TIME OF SURVEY. ACCORDING TO THE NGS OPUS REPORT, THE FOLLOWING CORRS STATIONS WERE USED DG5763 TXBU BURNET CORRS ARP, DG5761 TXBS BASTROP CORRS ARP, DM4151 TXBT BELTON CORRS ARP. THE NEAREST NGS PUBLISHED CONTROL POINT IS AH5786 ET GEORGE (NAVD88, COMPUTED USING GEOID18)

**SURVEYOR'S CERTIFICATION**

TO: ENCLAVE PROPERTY MANAGEMENT LLC  
AUDELL JAECKS PAYNE OR ROBERT E. PAYNE, TRUSTEES, OR THEIR SUCCESSORS IN TRUST, UNDER THE AUDELL JAECKS PAYNE REVOCABLE LIVING TRUST, DATED MARCH 05, 2019 AND TOM E. PAYNE  
STEWART TITLE GUARANTY COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 7, 9, 11, 12, 13, 14, 16, 17, 18, & 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 13, 2021.

Lucas Davis  
Lucas G. Davis  
Registered Professional Land Surveyor  
Texas Registration No. 6599

1-3-2022

DATE

**WINDROSE**  
LAND SURVEYING & PLATTING

11111 RICHMOND AVE. STE 150 | HOUSTON, TX 77082 | 713.458.2281  
FIRM REGISTRATION NO. 10108800 | WINDROSESERVICES.COM

ALTA/NSPS LAND TITLE AND TOPOGRAPHIC SURVEY OF 31.72 ACRES / 1,381,821 SQ. FT. SITUATED IN THE HENRY MILLARD SURVEY, ABSTRACT NO. 452 WILLIAMSON COUNTY, TEXAS

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FIELD BY: JT    CHECKED BY: CC    JOB NO. 57387-ALTA  
DRAWN BY: CG    DATE: DECEMBER 2021    SHEET NO. 1 OF 1