



# City of Round Rock

## Planning and Zoning Commission

### Meeting Agenda - Final

Chairman Jennifer Henderson  
Vice Chair Greg Rabaey  
Alternate Vice Chair Rob Wendt  
Commissioner J. Hollis Bone  
Commissioner Stacie Bryan  
Commissioner Aaron Dominguez  
Commissioner Paul Emerson  
Commissioner Selicia Sanchez-Adame  
Commissioner Jennifer Sellers

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Wednesday, August 17, 2022

6:00 PM

City Council Chambers, 221 East Main St.

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**A. CALL MEETING TO ORDER**

**B. ROLL CALL**

**C. PLEDGES OF ALLEGIANCE**

**D. CITIZEN COMMUNICATION**

*[Pursuant to Texas Government Code, Section 551.007 which allows the public to speak for a total of three (3) minutes on any of the agenda items listed below - excluding any executive sessions.]*

**E. CONSENT AGENDA:**

*All items listed under the Consent Agenda are considered to be routine by the Commission and will be enacted by one motion. There will be no separate discussion of these items unless requested by a commissioner in which event, the item will be removed from the Consent Agenda and considered separately.*

- E.1 Consider approval of the minutes for the August 3, 2022, Planning and Zoning Commission meeting.
- E.2 Consider a 30-day extension request for the Stockwell Preliminary Plat, generally located south of E Palm Valley Blvd and west of Kalahari Blvd. Case No. PP2202-001
- E.3 Consider a 30-day extension request for the Stockwell Final Plat, generally located south of E Palm Valley Blvd and west of Kalahari Blvd. Case No. FP2202-004
- E.4 Consider a 30-day extension request for the Lancaster Gate Cove Subdivision Preliminary Plat, generally located south of Surrey Dr and west of Lancaster Gate Cv. Case No. PP2207-001

- E.5 Consider a 30-day extension request for the Lakeridge Hwy 79 Preliminary Plat, generally located south of E Palm Valley Blvd and west of AW Grimes Blvd. Case No. PP2207-002

**F. PLATTING AND ZONING:**

- F.1 Consider approval of the Homestead at Old Settlers Ph. 9 Final Plat, generally located south of the intersection of E Old Settlers Blvd and Settlers Glen Dr. Case No. FP2207-002
- F.2 Consider public testimony regarding, and approval concerning the request filed by Kimley-Horn, on behalf of the property owner, Blevco II, LLC, to replat Sec 6, Lot 2, of the Stone Oak at Round Rock Subdivision, generally located north of RM 1431 and east of Stone Oak Dr. Case No. FP2207-003
- F.3 Consider public testimony regarding, and a recommendation concerning the request filed by SEC Planning, LLC, on behalf of the property owner, Round Rock Main Ave LLC, for the original zoning of 6.35 acres of land to Planned Unit Development to be known as Main Street Townhomes PUD, generally located north of E Main St and east of E Liberty Ave. Case No. ZON2207-001

**G. STAFF REPORT:**

- G.1 Consider an update regarding Council actions related to Planning and Zoning items.

**H. ADJOURNMENT**

*In addition to any executive session already listed above, the Planning and Zoning Commission for the City of Round Rock reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed below, as authorized by Texas Government Code:*

*§551.071 Consultation with Attorney*

*§551.072 Deliberations regarding Real Property*

*§551.073 Deliberations regarding Gifts and Donations*

*§551.074 Personnel Matters*

*§551.076 Deliberations regarding Security Devices*

*§551.087 Deliberations regarding Economic Development Negotiations*

**POSTING CERTIFICATION**

*I certify that this notice of the Planning and Zoning Meeting was posted on the 11th day of August, 2022 at 5:00 p.m. as required by law in accordance with Section 551.043 of the Texas Government Code.*

*/ORIGINAL SIGNED/*

*Meagan Spinks, City Clerk*



# City of Round Rock

## Meeting Minutes - Draft

### Planning and Zoning Commission

Wednesday, August 3, 2022

#### CALL MEETING TO ORDER

*The Planning & Zoning Commission for the City of Round Rock met on Wednesday, August 3, 2022 in the City Council Chambers, located at 221 E. Main Street, Round Rock. Chairman Henderson called the meeting to order at 6:00 PM.*

#### ROLL CALL

**Present** 7 - Chairman Jennifer Henderson  
Vice Chair Greg Rabaey  
Commissioner J. Hollis Bone  
Commissioner Aaron Dominguez  
Commissioner Paul Emerson  
Commissioner Selicia Sanchez-Adame  
Commissioner Jennifer Sellers

**Absent** 2 - Alternate Vice Chair Rob Wendt  
Commissioner Stacie Bryan

#### PLEDGES OF ALLEGIANCE

*Chairman Henderson led the following Pledges of Allegiance:  
United States  
Texas*

#### CITIZEN COMMUNICATION

*There were no citizens wishing to speak at this meeting.*

#### APPROVAL OF MINUTES:

**E.1** Consider approval of the minutes for the July 20, 2022, Planning and Zoning Commission meeting.

**A motion was made by Commissioner Sellers, seconded by Commissioner Sanchez-Adame, to approve the Meeting Minutes. The motion passed by the following vote:**

**Aye:** 7 - Chairman Henderson  
Vice Chair Rabaey  
Commissioner Bone  
Commissioner Dominguez  
Commissioner Emerson  
Commissioner Sanchez-Adame  
Commissioner Sellers

**Nay:** 0

**Absent:** 2 - Alternate Vice Chair Wendt  
Commissioner Bryan

## **PLATTING:**

- F.1** Consider approval of the Salerno Phase 7 Final Plat, generally located south of University Blvd and east of CR 110. Case No. FP2204-002

*Cait Reeves, Principal Planner, made the staff presentation. Applicant representative was available to answer questions.*

**A motion was made by Commissioner Sellers, seconded by Commissioner Emerson, to approve the Final Plat as conditioned. The motion passed by the following vote:**

**Aye:** 7 - Chairman Henderson  
Vice Chair Rabaey  
Commissioner Bone  
Commissioner Dominguez  
Commissioner Emerson  
Commissioner Sanchez-Adame  
Commissioner Sellers

**Nay:** 0

**Absent:** 2 - Alternate Vice Chair Wendt  
Commissioner Bryan

- F.2** Consider approval of the Oasis at Round Rock Preliminary Plat, generally located west of CR 110 and south of CR 122. Case No. PP2205-002

*Matt Johnson, Senior Planner, made the staff presentation. Applicant representative was available to answer questions.*

**A motion was made by Commissioner Dominguez, seconded by Vice Chair Rabaey, to approve the Preliminary Plat as conditioned. The motion passed by the following vote:**



**Aye:** 7 - Chairman Henderson  
Vice Chair Rabaey  
Commissioner Bone  
Commissioner Dominguez  
Commissioner Emerson  
Commissioner Sanchez-Adame  
Commissioner Sellers

**Nay:** 0

**Absent:** 2 - Alternate Vice Chair Wendt  
Commissioner Bryan

**F.3** Consider approval of the Oasis at Round Rock Final Plat, generally located west of CR 110 and south of CR 122. Case No. FP2205-003

*Matt Johnson, Senior Planner, made the staff presentation. Applicant representative was available to answer questions.*

**A motion was made by Commissioner Bone, seconded by Commissioner Sellers, to approve the Final Plat as conditioned. The motion passed by the following vote:**

**Aye:** 7 - Chairman Henderson  
Vice Chair Rabaey  
Commissioner Bone  
Commissioner Dominguez  
Commissioner Emerson  
Commissioner Sanchez-Adame  
Commissioner Sellers

**Nay:** 0

**Absent:** 2 - Alternate Vice Chair Wendt  
Commissioner Bryan

#### **STAFF REPORT:**

**G.1** Consider an update regarding Council actions related to Planning and Zoning items.

*Brad Wiseman, Planning & Development Services Director, made the staff presentation.*

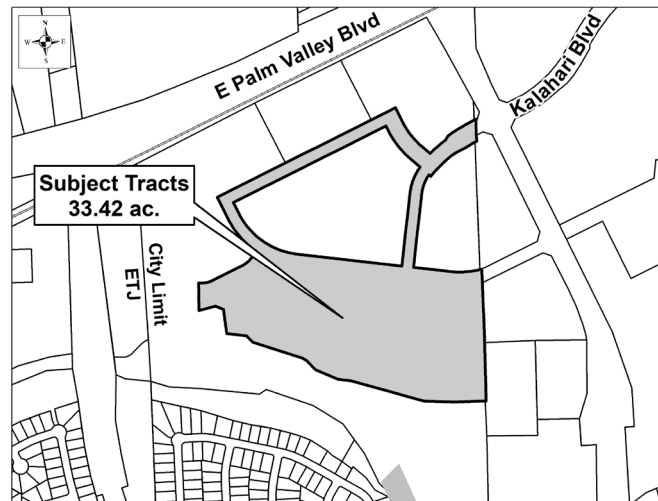
#### **ADJOURNMENT**

*There being no further business, Chairman Henderson adjourned the meeting at 6:12 PM.*

*Respectfully Submitted,*

*Cecilia Chapa, Planning Technician*

**Stockwell Subdivision  
PRELIMINARY PLAT PP2202-001**



**CASE PLANNER:** Matt Johnson

**REQUEST:**

**ZONING AT TIME OF APPLICATION:**

**DESCRIPTION:** 33.42 acres out of the P.A. Holder Survey, Abstract No. 297

**CURRENT USE OF PROPERTY:**

**COMPREHENSIVE PLAN LAND USE DESIGNATION:**

**ADJACENT LAND USE:**

North:  
South:  
East:  
West:

**PROPOSED LAND USE:**

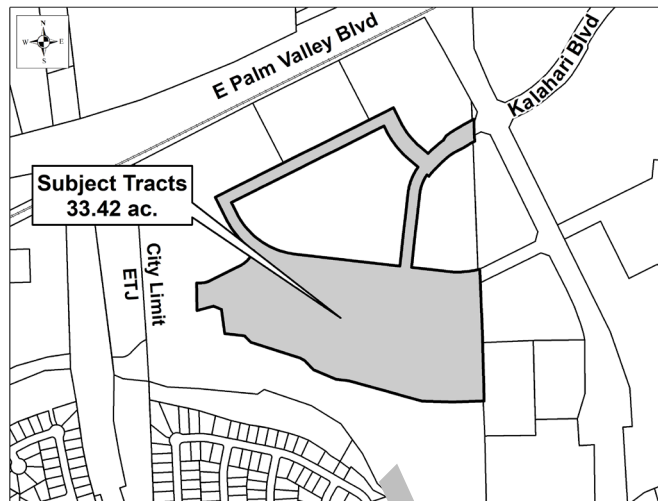
<u>PROPOSED LOTS BY TYPE:</u>	<u>NUMBER OF LOTS</u>	<u>ACREAGE</u>
Residential - Single Unit:	0	0
Residential - Multi Unit:	0	0
Office:	0	0
Commercial:	0	0
Industrial:	0	0
Open/Common Space:	0	0
ROW:	0	0
Parkland:	0	0
Other:	0	0
<b>TOTALS:</b>	<b>4</b>	<b>33.42</b>

**Owner:**  
Harris, John Bolt & Susan & Hickox  
Famil  
10421 Old Manchaca Rd  
Suite 400  
Austin, TX 78748

**Agent:**  
Kimley-Horn  
Brandon Hammann, P.E.  
10814 Jollyville Rd  
Campus IV, Ste 200  
Austin, TX 78759

**Developer:**  
Milhaus Development, LLC  
Tad Miller  
460 Virginia Ave  
Indianapolis, IN 46203

**Stockwell Subdivision  
FINAL PLAT FP2202-004**



**CASE PLANNER:** Matt Johnson

**REQUEST:**

**ZONING AT TIME OF APPLICATION:**

**DESCRIPTION:** 33.42 acres out of the P.A. Holder Survey, Abstract No. 297

**CURRENT USE OF PROPERTY:**

**COMPREHENSIVE PLAN LAND USE DESIGNATION:**

**ADJACENT LAND USE:**

North:  
South:  
East:  
West:

**PROPOSED LAND USE:**

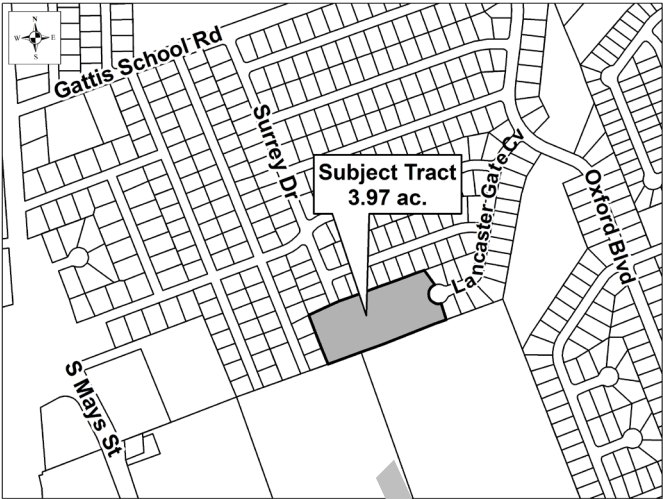
<u>PROPOSED LOTS BY TYPE:</u>	<u>NUMBER OF LOTS</u>	<u>ACREAGE</u>
Residential - Single Unit:	0	0
Residential - Multi Unit:	0	0
Office:	0	0
Commercial:	0	0
Industrial:	0	0
Open/Common Space:	0	0
ROW:	0	0
Parkland:	0	0
Other:	0	0
<b>TOTALS:</b>	<b>4</b>	<b>33.42</b>

**Owner:**  
Harris, John Bolt & Susan & Hickox  
Famill  
10421 Old Manchaca Rd  
Suite 400  
Austin, TX 78748

**Agent:**  
Kimley-Horn  
Brandon Hammann, P.E.  
10814 Jollyville Rd  
Campus IV, Ste 200  
Austin, TX 78759

**Developer:**  
Milhaus Development, LLC  
Tad Miller  
460 Virginia Ave  
Indianapolis, IN 46203

Lancaster Gate Cove Subdivision  
PRELIM PLAT PP2207-001



**CASE PLANNER:** Matthew Johnson

**REQUEST:**

**ZONING AT TIME OF APPLICATION:**

**DESCRIPTION:** 3.97 acres out of the Thomas, et al. Survey

**CURRENT USE OF PROPERTY:**

**COMPREHENSIVE PLAN LAND USE DESIGNATION:**

**ADJACENT LAND USE:**

North:  
South:  
East:  
West:

**PROPOSED LAND USE:**

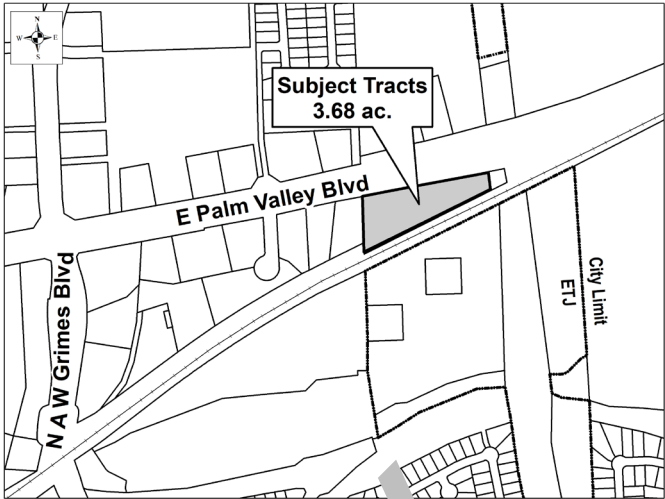
<u>PROPOSED LOTS BY TYPE:</u>	<u>NUMBER OF LOTS</u>	<u>ACREAGE</u>
Residential - Single Unit:	0	0
Residential - Multi Unit:	0	0
Office:	0	0
Commercial:	0	0
Industrial:	0	0
Open/Common Space:	0	0
ROW:	0	0
Parkland:	0	0
Other:	0	0
<b>TOTALS:</b>	<b>13</b>	<b>3.97</b>

**Owner:**  
The Smith Group of Austin, Keller  
Williams Realty  
Christopher Smith  
12515-8 Research Blvd  
Ste 100  
Austin, TX 78759

**Agent:**  
Henderson Professional Engineer's  
Jen Henderson, PE  
600 Round Rock West Dr  
Suite 604  
Round Rock, TX 78681

**Developer:**  
The Crow Group  
Ingrid Crow  
4600 Secluded Hollow  
Austin, TX 78727

Lakeridge Hwy 79  
PRELIM PLAT PP2207-002



**CASE PLANNER:** Dalton Dueitt

**REQUEST:**

**ZONING AT TIME OF APPLICATION:**

**DESCRIPTION:** 3.68 acres out of the Holder, P.L. Survey

**CURRENT USE OF PROPERTY:**

**COMPREHENSIVE PLAN LAND USE DESIGNATION:**

**ADJACENT LAND USE:**

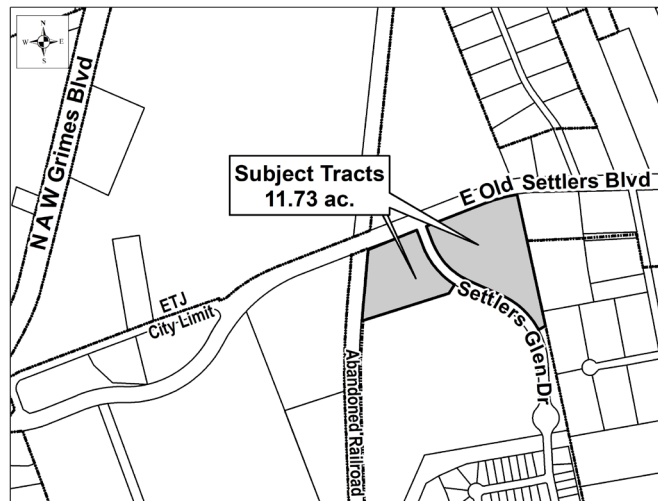
North:  
South:  
East:  
West:

**PROPOSED LAND USE:**

<u>PROPOSED LOTS BY TYPE:</u>	<u>NUMBER OF LOTS</u>	<u>ACREAGE</u>
Residential - Single Unit:	0	0
Residential - Multi Unit:	0	0
Office:	0	0
Commercial:	0	0
Industrial:	0	0
Open/Common Space:	0	0
ROW:	0	0
Parkland:	0	0
Other:	0	0
<b>TOTALS:</b>	<b>3</b>	<b>3.68</b>

<b>Owner:</b> Lakeridge Vista, LLC Brad Andrews 8001 Quaker Ave Ste K Lubbock, TX 79424	<b>Agent:</b> Sandlin Services, LLC Nick Sandlin, PE 4501 Whispering Valley Dr #27 Austin, TX 78727	<b>Developer:</b> Lakeridge Vista, LLC Brad Andrews 8001 Quaker Ave Ste K Lubbock, TX 79424
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# **Homestead at Old Settlers Park Ph 9 FINAL PLAT FP2207-002**



**CASE PLANNER:** Matthew Johnson

**REQUEST:** Final Plat approval

**ZONING AT TIME OF APPLICATION:** Low-Density Multifamily (MF-1)

**DESCRIPTION:** 11.73 acres out of the Willis Donaho Jr Survey, Abstract No. 173

**CURRENT USE OF PROPERTY:** Vacant/ Undeveloped

**COMPREHENSIVE PLAN LAND USE DESIGNATION:** Residential

**ADJACENT LAND USE:**

North: Residential  
 South: Multifamily  
 East: ETJ/ Rural Residential  
 West: Light Industrial

**PROPOSED LAND USE:**

<u>PROPOSED LOTS BY TYPE:</u>	<u>NUMBER OF LOTS</u>	<u>ACREAGE</u>
Residential - Single Unit:	0	0
Residential - Multi Unit:	2	11.73
Office:	0	0
Commercial:	0	0
Industrial:	0	0
Open/Common Space:	0	0
ROW:	0	0
Parkland:	0	0
Other:	0	0
<b>TOTALS:</b>	<b>2</b>	<b>11.73</b>

**Owner:**  
 Brian Cressman  
 3200 E. Palm Valley Blvd.  
 Round Rock, TX 78665

**Agent:**  
 KTCivil  
 Peggy Carrasquillo  
 6805 N. Capital of Texas Hwy., Ste.  
 315  
 Austin, TX 78731

**Developer:**  
 Meritage Homes of Texas, LLC  
 Kyle Smith  
 8920 Business Park Dr  
 Ste. 350  
 Austin, TX 78759

**Homestead at Old Settlers Park Ph 9  
FINAL PLAT FP2207-002**

**HISTORY:** A Preliminary Plat was approved on January 17<sup>th</sup>, 2020 (PP1912-001). A revised Preliminary Plat was approved on August 12<sup>th</sup>, 2021. The revision solely realigned phase lines. Phase 9 zoning was approved from local commercial to low density multifamily on June 23<sup>rd</sup> of this year.

**DATE OF REVIEW:** August 17, 2022

**LOCATION:** Generally located south of the intersection of E Old Settlers Blvd and Settlers Glen Dr.

**STAFF REVIEW AND ANALYSIS:**

Comprehensive Plan and Zoning: The Future Land Use Map designation of this area is Residential. Homestead at Old Settlers Park consists of approximately 190-acres of land with zoning districts SF-3 (Single Family-Mixed Lot) to MF-1 (Multifamily-Low Density). The Phase 9 Final Plat will facilitate the final phase of development for the Homestead at Old Settlers Subdivision.

Compliance with the Preliminary Plat: As shown, this Final Plat is in compliance with the revised Preliminary Plat for Homestead at Old Settlers (PP1912-001).

Traffic, Access and Roads: The development tract has frontage along Settlers Glen Drive and Old Settlers Blvd. Driveway access will be provided off of Settlers Glen Drive. A Traffic Impact Analysis (TIA) is not required for this development. Roadway impact fees will be assessed based on the date of plat recordation and charged upon submittal of the building permit application.

Water and Wastewater Service: Water and wastewater will be provided by the City of Round Rock. Water will be obtained by connecting to an existing 8" waterline and wastewater line within the ROW of Settlers Glen Drive and Phase 8.

Drainage: A flood study has been approved for the final phase of this subdivision (FLOOD2204-0001).

**RECOMMENDED MOTION:**

Staff recommends approval of the Homestead at Old Settlers Final Plat.





N A W Grimes Blvd

Subject Tracts  
11.73 ac.

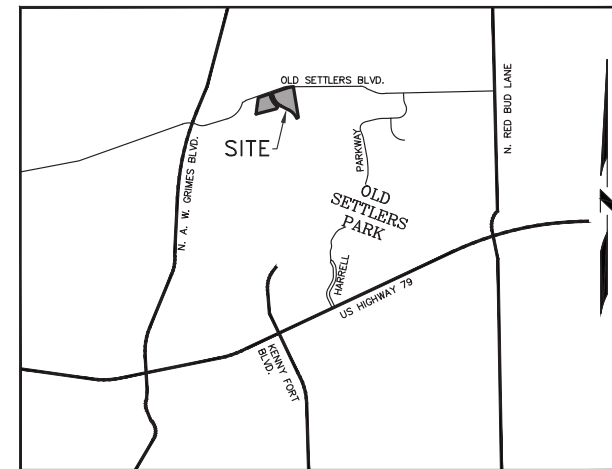
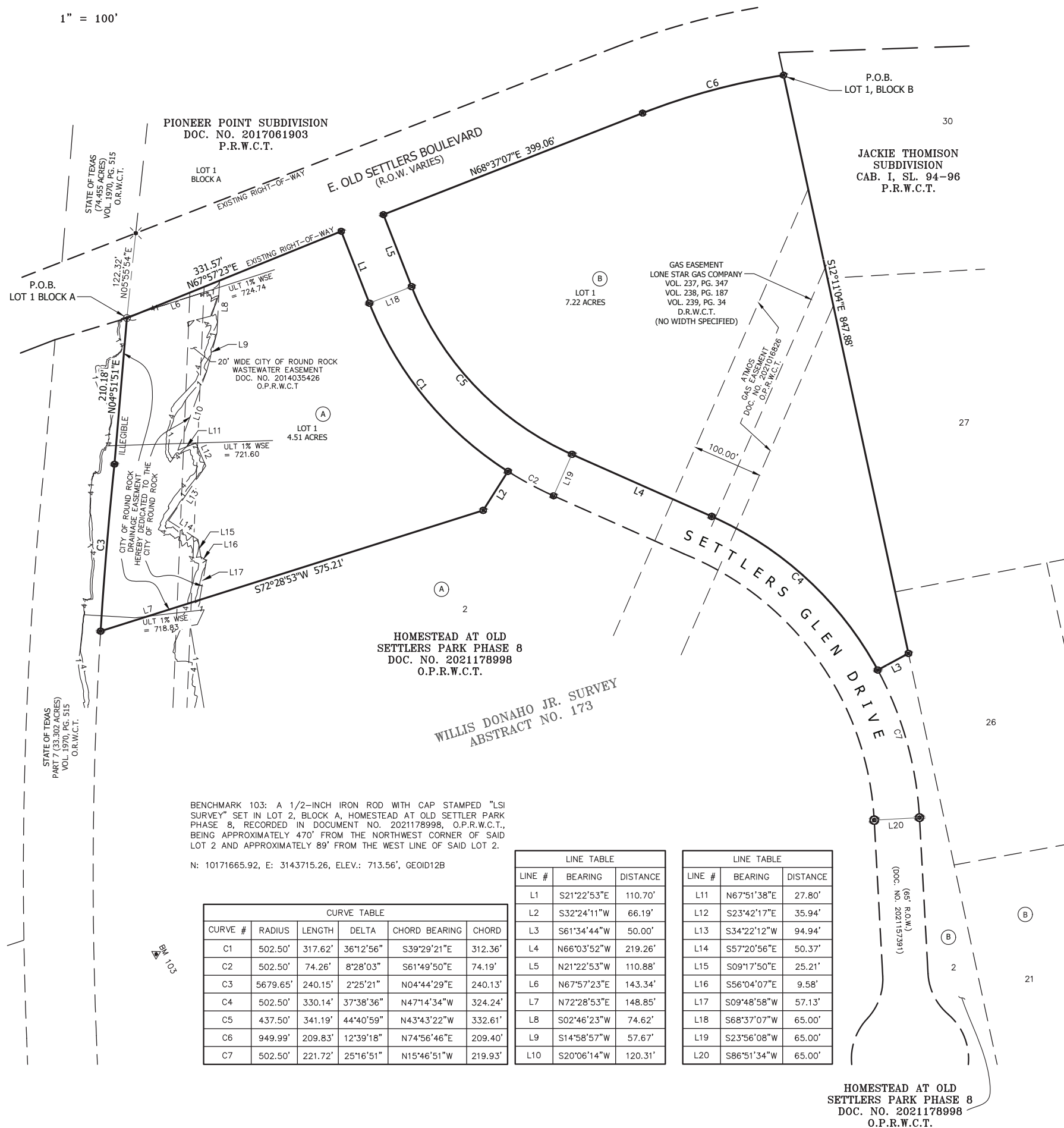
E Old Settlers Blvd

ETJ  
City Limit

Abandoned Railroad





Settlers  
Glen Dr




$$1'' = 100'$$


VICINITY MAP  
(NOT TO SCALE)

### LEGEND

- |   |   |
|---|---|
|  | 1/2" REBAR FOUND (OR AS NOTED)                            |
|  | 1/2" REBAR WITH CAP STAMPED "LSI SURVEY" FOUND (AS NOTED) |
|  | 1" PIPE FOUND (OR AS NOTED)                               |
|  | DRILL HOLE WITH "X" DRAWN                                 |
| O.P.R.W.C.T.  | OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS       |
| O.R.W.C.T.  | OFFICIAL RECORDS OF WILLIAMSON COUNTY, TEXAS              |
| P.R.W.C.T.  | PLAT RECORDS OF WILLIAMSON COUNTY, TEXAS                  |
| P.O.B.  | POINT OF BEGINNING  |
| P.U.E.  | PUBLIC UTILITY EASEMENT                                   |
| (A)   | BLOCK   |

LINE TYPE LEGEND

_____	BOUNDARY LINE
_____	RIGHT-OF-WAY LINE
_____	EASEMENT LINE
_____	ADJACENT BOUNDARY LINE
_____4_____	ULTIMATE 4% ANNUAL CHAN
	FLOODPLAIN
_____1_____	ULTIMATE 1% ANNUAL CHAN
	FLOODPLAIN

GENERAL NOTES:

THIS PROJECT IS REFERENCED FOR ALL BEARING AND COORDINATE BASIS TO THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD83 - 2011 ADJUSTMENT), CENTRAL ZONE (4203).

DISTANCES SHOWN HEREON ARE GRID VALUES REPRESENTED IN U.S. SURVEY FEET.

SOME FEATURES SHOWN HEREON MAY BE OUT OF SCALE FOR CLARITY.

THIS SURVEY PLAT ACCOMPANIES A METES AND BOUNDS DESCRIPTION OF EVEN DATE.

OWNER:	CRESSMAN ENTERPRISES LP		
ACREAGE:	11.73 ACRES		
PATENT SURVEY:	WILLIS DONAHO SURVEY, ABSTRACT NO. 173		
NUMBER OF BLOCKS:	2		
LINEAR FEET OF NEW STREETS:	NO R.O.W. DEDICATED		
SUBMITTAL DATE:	JULY 19, 2022		
DATE OF PLANNING & ZONING COMMISSION REVIEW:	AUGUST 17, 2022		
NUMBER OF LOTS BY TYPE:	DEVELOPMENT LOTS	2	LOTS
ACREAGE BY LOT TYPE:	DEVELOPMENT LOTS -	11.73	ACRES

SURVEYOR: LANDESIGN SERVICES, INC.  
10090 W. HIGHWAY 29  
LIBERTY HILL, TEXAS 78642  
PHONE: 512-238-7901  
TBPELS FIRM NO. 10001800

ENGINEER: KITCHEN TABLE CIVIL SOLUTIONS  
6805 N. CAPITAL OF TEXAS HIGHWAY  
SUITE 315  
AUSTIN, TEXAS 78731  
512-758-7474  
TBPE FIRM NUMBER F-18129

**LAND DESIGN** ★ **SERVICES, INC.**

10090 W HIGHWAY 29, LIBERTY HILL, TEXAS 78642  
TBPELS FIRM NO. 10001800  
512-238-7901

**FINAL PLAT**  
**HOMESTEAD AT OLD SETTLERS PARK**  
**PHASE 9**

[illegible]

PROJECT NAME:	KTCS CRESSMAN		
JOB NUMBER:	20-033		
DATE:	06/21/2022	SCALE:	1" = 100'
DRAWING FILE PATH:	X:\20033 - KTCS CRESSMAN\CAD\DWGS		
FIELDNOTE FILE PATH:	X:\20033 - KTCS CRESSMAN\DESCRIPTIONS		
APPLS:	FWF	TECH:	JRM
		PARTYCHIEF:	N/A

DRAWING NAME:  
HOMESTEAD PHASE 5  
PLAT

SHEET  
01 of 02

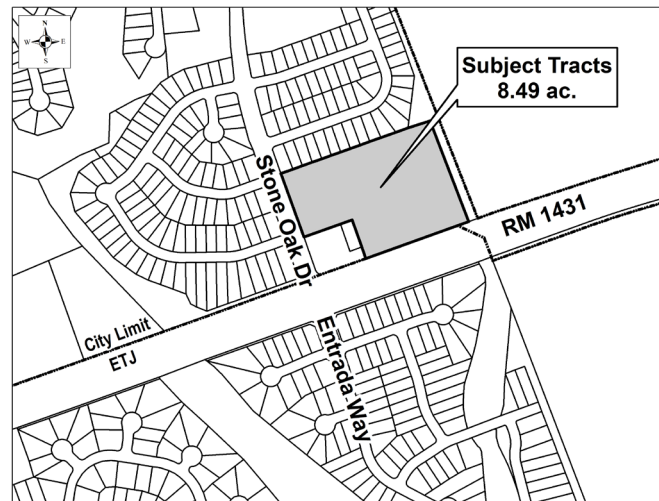
FP2207-002

DRAWING PATH: K:\20033 - KTC'S CRESSMANICAD\DWGS\HOMESTEAD PHASE 9 PI AT DWG SHEET PI OT SIZE- ARCH E111 BLEED C (18.00 X 24.00 INCHES) | LAST SAVED: 7/29/2022 8:45 AM PI OT DATE: 7/29/2022 12:15 PM  
 SHEETED BY: TMS FILED DOWN: 16/7/1





**Replat of Stone Oak at Round Rock Section 6, Lot 2 Subdivision  
FINAL PLAT FP2207-003**



**CASE PLANNER:** Caitlyn Reeves

**REQUEST:** The Replat request is to combine one existing platted lot with additional unplatted acreage to create one development lot.

**ZONING AT TIME OF APPLICATION:** TH (Townhouse)

**DESCRIPTION:** 8.49 acres out of the Ephraim Evans Survey, Abstract No. 212

**CURRENT USE OF PROPERTY:** Vacant and undeveloped - Zoned TH (Townhouse)

**COMPREHENSIVE PLAN LAND USE DESIGNATION:** Residential

**ADJACENT LAND USE:**

North: Stone Oak At Round Rock Subdivision - Zoned SF-2 (Single Family - Standard Lot)  
 South: RM 1431 ROW - Unzoned  
 East: Stone Oak at Round Rock Subdivision- Zoned SF-2 (Single Family - Standard Lot)  
 West: Stone Oak Drive ROW - Unzoned

**PROPOSED LAND USE:** Residential - Townhouse

<u>PROPOSED LOTS BY TYPE:</u>	<u>NUMBER OF LOTS</u>	<u>ACREAGE</u>
Residential - Single Unit:	0	0
Residential - Multi Unit:	1	8.49
Office:	0	0
Commercial:	0	0
Industrial:	0	0
Open/Common Space:	0	0
ROW:	0	0
Parkland:	0	0
Other:	0	0
<b>TOTALS:</b>	<b>1</b>	<b>8.49</b>
<b>Owner:</b> Blevco II, LLC Thomas C. Blevins 7144 Valburn Drive Austin, TX 78731	<b>Agent:</b> Kimley-Horn Sarah J. Mays, P.E. 10814 Jollyville Rd Bldg. IV, Ste 200 Austin, TX 78759	<b>Developer:</b> Bridge Tower Homes, LLC Adam Green 5430 LBJ Freeway Ste 1050 Dallas, TX 75240

**Replat of Stone Oak at Round Rock Section 6, Lot 2 Subdivision  
FINAL PLAT FP2207-003**

**HISTORY:** The Planning and Zoning Commission approved the original “Stone Oak at Round Rock Section 6, Lot 2” final plat on March 20, 2002. This Replat request is to combine one existing platted lot with additional unplatted acreage to create one development lot.

**DATE OF REVIEW:** August 17, 2022

**LOCATION:** Generally located north of RM 1431 and east of Stone Oak Dr.

**STAFF REVIEW AND ANALYSIS:**

Comprehensive Plan and Zoning: The Future Land Use Map of the Round Rock 2030 Comprehensive Plan designates this tract for residential use and is zoned TH (Townhouse). The TH zoning district allows for a maximum of 14-dwelling units per acre.

Traffic, Access, and Roads: The subject tract has frontage along Stone Oak Drive and RM 1431. Roadway Impact Fees (RIFs) will be required at the submittal of the building permit and will be assessed based on the date of final plat recordation.

Water and Wastewater Service: Water and wastewater service will be provided by the City of Round Rock. Water service will be provided via a connection to an existing 12-inch waterline along Stone Oak Drive. Wastewater service will be provided via a connection to an existing 8-inch wastewater line along Stone Oak Drive.

Drainage: A flood study (FLOOD2205-0003) was approved on June 10, 2022. The applicant intends to detain stormwater on-site, and the final location of proposed detention facilities will be determined at the site development permit stage.

**RECOMMENDED MOTION:**

Staff recommends approval with the following conditions:

1. Prior to recordation, revise the easement being dedicated to the City of Round Rock as “Storm Sewer and Drainage Easement”, not “Drainage, Storm and Sewer Easement.”
2. Prior to recordation, revise legend to include line types.





**Subject Tracts**  
**8.49 ac.**

**Stone Oak Dr**

**RM 1431**

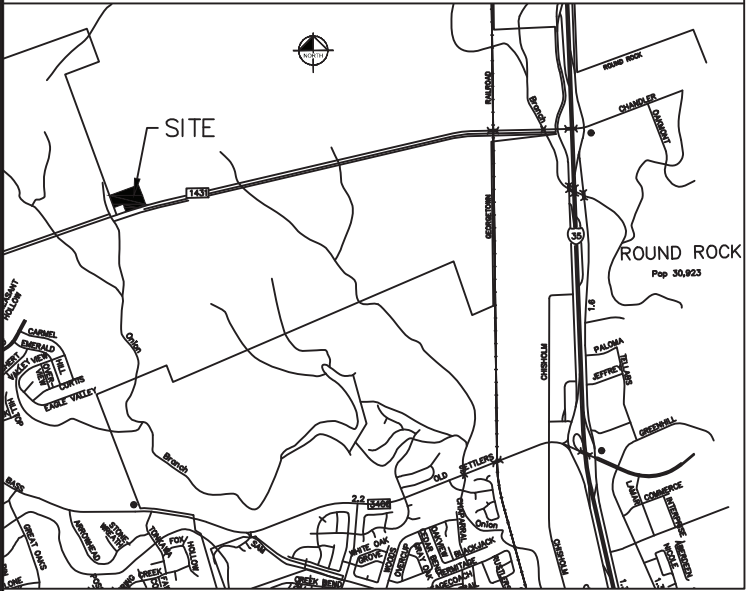
**City Limit**  
**ETJ**

**Entrada Way**



VICINITY MAP

NOT TO SCALE



OWNER:  
BLEVCO II, L.L.C., A TEXAS LIMITED LIABILITY COMPANY  
7144 VALBURN DRIVE, AUSTIN, TEXAS 78731  
CONTACT: THOMAS BLEVINS

ACREAGE: 8.492  
SURVEYOR:  
KIMLEY-HORN AND ASSOCIATES, INC.  
10101 REUNION PLACE, SUITE 400  
SAN ANTONIO, TEXAS 78216  
TBPLS FIRM REGISTRATION NO. 10193973  
CONTACT: JOHN G. MOSIER, R.P.L.S.

NUMBER OF BLOCKS: 1  
LINEAR FEET OF NEW STREETS: N/A  
SUBMITTAL DATE: 7/19/2022  
DATE OF PLANNING AND ZONING COMMISSION REVIEW:  
8/17/2022  
BENCHMARK DESCRIPTION & ELEVATION WITH VERTICAL  
DATUM AND GEOID:  
DATUM: VERTICAL DATUM: NAVD'88 (GEOID 12A)

TBM #101 "MAG NAIL W/WASHER" SET ON THE  
NORTHEASTERLY CORNER OF CURB INLET AND ON THE  
EASTERLY SIDE OF STONE OAK DRIVE ±640' NORTH OF F.M.  
1431.  
ELEVATION = 879.94 FEET.

TBM #101 "MAG NAIL W/WASHER" SET ON THE BACK OF CURB  
AT THE NORTH END OF MEDIAN IN CENTER LINE OF STONE OAK  
DRIVE ±295' NORTH OF F.M. 1431.  
ELEVATION = 872.18 FEET.

ACREAGE BY LOT TYPE: 8.492 ACRES OF DEVELOPMENT  
PATENT SURVEY: EPHRAIM EVANS SURVEY, ABSTRACT NO. 212,  
CITY OF ROUND ROCK, WILLIAMSON COUNTY, TEXAS.  
ENGINEER:  
KIMLEY-HORN AND ASSOCIATES, INC.  
10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 200  
AUSTIN, TEXAS 78759  
TBPE FIRM NO. 928  
CONTACT: SARAH J. MAYS, P.E.  
NUMBER OF LOTS BY TYPE: 1 DEVELOPMENT LOT

GENERAL NOTES:

- BUILDING SETBACKS SHALL BE ACCORDANCE WITH PART III, ZONING AND DEVELOPMENT CODE, CHAPTER 2, ZONING DISTRICTS AND USE REGULATIONS, CITY OF ROUND ROCK, TEXAS, 2018, AS AMENDED.
- SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH PART III, ZONING AND DEVELOPMENT CODE, SECTION 6-26, CITY OF ROUND ROCK, TEXAS, 2018, AS AMENDED.
- NO PORTION OF THIS TRACT IS ENCRoACHED BY ANY SPECIAL FLOOD HAZARD AREAS INUNDATED BY THE 1% ANNUAL CHANCE FLOOD AS IDENTIFIED BY THE U.S. FEDERAL EMERGENCY MANAGEMENT AGENCY BOUNDARY MAP (FLOOD INSURANCE RATE MAP) COMMUNITY PANEL NUMBER 48491C0486F, EFFECTIVE DATE DECEMBER 20, 2019, FOR WILLIAMSON COUNTY.
- A PORTION OF THIS TRACT IS ENCRoACHED BY THE ULTIMATE 1% ANNUAL CHANCE FLOODPLAIN PER FLOODPLAIN STUDY PREPARED BY KIMLEY-HORN DATED MAY 20, 2022 AND ACCEPTED BY CITY OF ROUND ROCK ON JUNE 6, 2022. NO FENCES, STRUCTURES, STORAGE, OR FILL SHALL BE PLACED WITHIN THE LIMITS OF THE ULTIMATE 1% ANNUAL CHANCE FLOODPLAIN; UNLESS APPROVED BY THE CITY ENGINEER. FILL MAY ONLY BE PERMITTED BY THE CITY ENGINEER AFTER APPROVAL OF THE PROPER ANALYSIS. ALL SLAB ELEVATIONS SHALL BE A MINIMUM OF TWO (2) FEET ABOVE THE ULTIMATE 1% ANNUAL CHANCE FLOODPLAIN.
- NO OBSTRUCTIONS, INCLUDING BUT NOT LIMITED TO FENCING OR STORAGE, SHALL BE PERMITTED IN ANY DRAINAGE EASEMENTS SHOWN HEREON.
- WITH THE EXCEPTION OF PROPERTIES LOCATED WITHIN THE MU-1 AND MU-2 ZONING DISTRICTS, A TEN-FOOT (10') PUE AND SIDEWALK EASEMENT ABUTTING AND ALONG THE STREET SIDE PROPERTY LINE IS HEREBY DEDICATED FOR ALL STREET SIDE PROPERTY LOTS SHOWN HEREON.
- ALL SLAB ELEVATIONS SHALL BE A MINIMUM OF TWO (2) FEET ABOVE THE ULTIMATE 1% ANNUAL CHANCE FLOODPLAIN.

EASEMENT NOTES:

THE PERPETUAL EASEMENT, RIGHT-OF-WAY, RIGHTS, AND PRIVILEGES HEREIN GRANTED SHALL BE USED FOR THE PURPOSES OF LOCATION, PLACEMENT, RELOCATION, CONSTRUCTION, OPERATION, ENLARGEMENT, MAINTENANCE, ALTERATION, REPAIR, REBUILDING, REMOVAL, AND PATROL OF UTILITIES AND ASSOCIATED FACILITIES INCLUDING BUT NOT LIMITED TO: PIPES, VALVES, VAULTS, MANHOLES, CHANNELS, INLETS, STRUCTURES, ACCESS FACILITIES, CONDUITS, APPURTENANCES, AND ANY NECESSARY ACCESSORIES THERETO (COLLECTIVELY THE "FACILITIES").

THIS CONVEYANCE IS MADE AND ACCEPTED SUBJECT TO ANY AND ALL CONDITIONS AND RESTRICTIONS, IF ANY, RELATING TO THE HEREINABOVE DESCRIBED PROPERTY TO THE EXTENT, AND ONLY TO THE EXTENT, THAT THE SAME MAY STILL BE IN FORCE AND EFFECT AND SHOWN OF RECORD IN THE OFFICE OF THE COUNTY CLERK OF WILLIAMSON COUNTY, TEXAS OR TRAVIS COUNTY, TEXAS.

EXCEPT AS OTHERWISE NOTED, THE EASEMENT, RIGHTS, AND PRIVILEGES HEREIN GRANTED SHALL BE PERPETUAL, PROVIDED HOWEVER THAT SAID EASEMENT, RIGHTS, AND PRIVILEGES SHALL CEASE AND REVERT TO GRANTORS IN THE EVENT THE UTILITIES ARE ABANDONED OR SHALL CEASE TO BE IN OPERATION, FOR A PERIOD OF FIVE (5) CONSECUTIVE YEARS.

THE PERPETUAL EASEMENT, RIGHT-OF-WAY, RIGHTS, AND PRIVILEGES GRANTED HEREIN ARE EXCLUSIVE, AND GRANTOR COVENANTS NOT TO CONVEY ANY OTHER EASEMENT OR CONFLICTING RIGHTS WITHIN THE PREMISES COVERED BY THIS GRANT, WITHOUT THE EXPRESS WRITTEN CONSENT OF GRANTEE, WHICH CONSENT SHALL NOT BE UNREASONABLY WITHHELD. GRANTEE SHALL HAVE THE RIGHT TO REVIEW ANY PROPOSED EASEMENT OR CONFLICTING USE TO DETERMINE THE EFFECT, IF ANY, ON THE FACILITIES CONTEMPLATED HEREIN. PRIOR TO GRANTING ITS CONSENT FOR OTHER EASEMENTS, GRANTEE MAY REQUIRE REASONABLE SAFEGUARDS TO PROTECT THE INTEGRITY OF THE FACILITIES THEREON.

GRANTOR FURTHER GRANTS TO GRANTEE:

- THE RIGHT TO INSTALL ADDITIONAL FACILITIES ON THE EASEMENT TRACT;
- THE RIGHT TO GRADE THE EASEMENT FOR THE FULL WIDTH THEREOF AND TO EXTEND THE CUTS AND FILLS FOR SUCH GRADING INTO AND ONTO THE LAND ALONG AND OUTSIDE THE EASEMENT TO SUCH EXTENT AS GRANTEE MAY FIND REASONABLY NECESSARY;
- THE RIGHT OF INGRESS TO AND EGRESS FROM THE EASEMENT OVER AND ACROSS GRANTOR'S PROPERTY BY MEANS OF ROADS AND LANES THEREON, IF SUCH EXIST; OTHERWISE BY SUCH ROUTE OR ROUTES AS SHALL OCCASION THE LEAST PRACTICABLE DAMAGE AND INCONVENIENCE TO GRANTOR; PROVIDED THAT SUCH RIGHT OF INGRESS AND EGRESS SHALL NOT EXTEND TO ANY PORTION OF GRANTOR'S PROPERTY WHICH IS ISOLATED FROM THE EASEMENT BY ANY PUBLIC HIGHWAY OR ROAD NOW CROSSING OR HEREAFTER CROSSING THE PROPERTY; THE FOREGOING RIGHT OF INGRESS AND EGRESS INCLUDES THE RIGHT OF THE GRANTEE AND ASSIGNED EMPLOYEES OF GRANTEE TO DISASSEMBLE, REMOVE, TAKE DOWN, AND CLEAR AWAY ANY FENCE, BARRICADE, OR OTHER STRUCTURE WHICH OBSTRUCTS, PREVENTS, OR HINDERS GRANTEE'S INGRESS TO AND EGRESS FROM THE GRANTOR'S PROPERTY, AND SHOULD GRANTEE DEEM IT NECESSARY TO SO DISASSEMBLE, REMOVE, TAKE DOWN, OR CLEAR AWAY ANY SUCH FENCE, BARRICADE, OR OTHER STRUCTURE, GRANTEE SHALL, AS SOON AS IS REASONABLY FEASIBLE, REPLACE OR RESTORE GRANTOR'S PROPERTY TO AS SIMILAR A CONDITION AS REASONABLY PRACTICABLE AS EXISTED IMMEDIATELY PRIOR TO GRANTEE'S ACTIONS PURSUANT TO THIS PROVISION, UNLESS SAID FENCE, BARRICADE, OR OTHER STRUCTURE IS INCONSISTENT WITH THE RIGHTS CONVEYED TO GRANTEE HEREIN;
- THE RIGHT OF GRADING FOR, CONSTRUCTION, MAINTAINING AND USING SUCH ROADS ON AND ACROSS THE PROPERTY AS GRANTEE MAY DEEM NECESSARY IN THE EXERCISE OF THE RIGHT OF INGRESS AND EGRESS OR TO PROVIDE ACCESS TO PROPERTY ADJACENT TO THE EASEMENT;
- THE RIGHT FROM TIME TO TIME TO TRIM AND TO CUT DOWN AND CLEAR AWAY ANY AND ALL TREES AND BRUSH NOW OR HEREAFTER ON THE EASEMENT AND TO TRIM AND TO CUT DOWN AND CLEAR AWAY ANY TREES ON EITHER SIDE OF THE EASEMENT WHICH NOW OR HEREAFTER IN THE OPINION OF GRANTEE MAY BE A HAZARD TO ANY PIPELINE; VALVES, APPLIANCES, FITTINGS, OR OTHER IMPROVEMENTS BY REASON OF THE DANGER OF FALLING THEREON OR ROOT INFILTRATION THEREIN, OR WHICH MAY OTHERWISE INTERFERE WITH THE EXERCISE OF GRANTEE'S RIGHTS HEREUNDER; PROVIDED HOWEVER, THAT ALL TREES WHICH GRANTEE IS HEREBY AUTHORIZED TO CUT AND REMOVE, IF VALUABLE FOR TIMBER OR FIREWOOD, SHALL CONTINUE TO BE THE PROPERTY OF GRANTOR, BUT ALL TOPS, LOPS, BRUSH AND REFUSE WOOD SHALL BE BURNED OR REMOVED BY GRANTEE;
- THE RIGHT TO MARK THE LOCATION OF THE EASEMENT BY SUITABLE MARKERS SET IN THE GROUND; PROVIDED THAT SUCH MARKERS SHALL BE PLACED IN FENCES OR OTHER LOCATIONS WHICH WILL NOT INTERFERE WITH ANY REASONABLE USE GRANTOR SHALL MAKE OF THE EASEMENT;

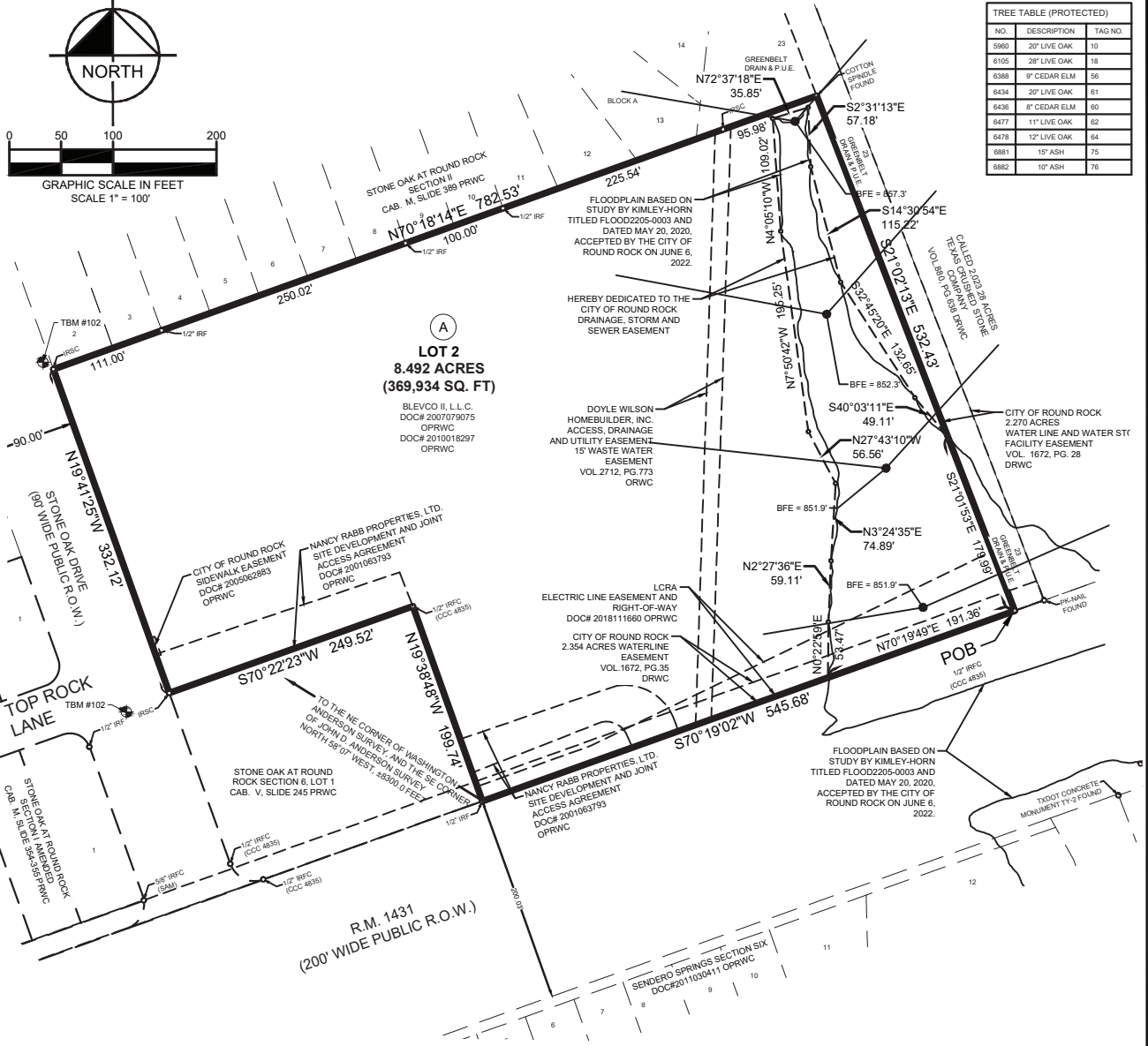
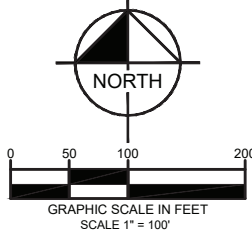
GRANTEE HEREBY COVENANTS AND AGREES:

- GRANTEE SHALL NOT FENCE THE EASEMENT;
- GRANTEE SHALL PROMPTLY BACKFILL ANY TRENCH MADE BY IT ON THE EASEMENT AND REPAIR ANY DAMAGE IT SHALL DO TO GRANTORS PRIVATE ROADS OR LANES ON THE LANDS;
- TO THE EXTENT ALLOWED BY LAW, GRANTEE SHALL INDEMNIFY GRANTOR AGAINST ANY LOSS AND DAMAGE WHICH SHALL BE CAUSED BY THE EXERCISE OF THE RIGHTS OF INGRESS AND EGRESS OR BY ANY WRONGFUL OR NEGLIGENT ACT OR OMISSION OF GRANTEE'S AGENTS OR EMPLOYEES IN THE COURSE OF THEIR EMPLOYMENT.

IT IS UNDERSTOOD AND AGREED THAT ANY AND ALL EQUIPMENT PLACED UPON SAID PROPERTY SHALL REMAIN THE PROPERTY OF GRANTEE.

GRANTOR HEREBY DEDICATES THE EASEMENT FOR THE PURPOSES STATED HEREIN.

TO HAVE AND TO HOLD THE RIGHTS AND INTERESTS DESCRIBED UNTO GRANTEE AND ITS SUCCESSORS AND ASSIGNS, FOREVER, TOGETHER WITH ALL AND SINGULAR ALL USUAL AND CUSTOMARY RIGHTS THERETO IN ANYWISE BELONGING, AND TOGETHER WITH THE RIGHT AND PRIVILEGE AT ANY AND ALL TIMES TO ENTER SAID PREMISES, OR ANY PART THEREOF, FOR THE PURPOSE OF CONSTRUCTING OR MAINTAINING SAID UTILITIES AND FOR MAKING CONNECTIONS THEREWITH, AND GRANTOR DOES HEREBY BIND ITSELF, ITS SUCCESSORS AND ASSIGNS AND LEGAL REPRESENTATIVES, TO WARRANT AND FOREVER DEFEND, ALL AND SINGULAR, THE SAID EASEMENT AND RIGHTS AND INTERESTS UNTO THE CITY OF ROUND ROCK, TEXAS, ITS SUCCESSORS AND ASSIGNS, AGAINST EVERY PERSON WHOMSOEVER LAWFULLY CLAIMING OR TO CLAIM THE SAME OR ANY PART THEREOF.



TREE TABLE (PROTECTED)		
NO.	DESCRIPTION	TAG NO.
5960	20" LIVE OAK	10
6105	28" LIVE OAK	16
6388	9" CEDAR ELM	56
6434	20" LIVE OAK	61
6436	8" CEDAR ELM	60
6477	11" LIVE OAK	62
6478	12" LIVE OAK	64
6881	15" ASH	75
6882	10" ASH	76

REPLAT CONFIGURATION

BENCH MARK LIST

TBM #101 "MAG NAIL W/WASHER" SET ON THE  
NORTHEASTERLY CORNER OF CURB INLET  
AND ON THE EASTERLY SIDE OF STONE OAK  
DRIVE ±640' NORTH OF F.M. 1431.  
ELEVATION = 879.94 FEET.

TBM #102 "MAG NAIL W/WASHER" SET ON THE  
BACK OF CURB AT THE NORTH END OF MEDIAN  
IN CENTER LINE OF STONE OAK DRIVE ±295'  
NORTH OF F.M. 1431.  
ELEVATION = 872.18 FEET.

DATUM: NAV'88 (GEOID 12A)

LEGEND

OPRWC	OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY
PRWC	PLAT RECORDS WILLIAMSON COUNTY
RRPRWC	REAL PROPERTY RECORDS OF WILLIAMSON COUNTY
DRWC	DEED RECORDS OF WILLIAMSON COUNTY
R.O.W.	RIGHT OF WAY
D.E.	DRAINAGE EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT
W.M.D.E.	WALL MAINTENANCE DRAINAGE EASEMENT
●	1/2" IRON ROD FOUND WITH CAP
○	UNLESS OTHERWISE NOTED
◆	1/2" IRON ROD W/ "KHA" CAP SET
⊕	BENCHMARKS
⊗	BLOCK DESIGNATION
○	PROTECTED TREES

REPLAT OF

STONE OAK AT ROUND ROCK,  
SECTION 6, LOT 2 SUBDIVISION

8.492 ACRE TRACT OF LAND SITUATED IN THE EPHRAIM  
EVANS SURVEY, ABSTRACT No. 212, CITY OF ROUND  
ROCK, WILLIAMSON COUNTY, TEXAS.

**Kimley»Horn**

10101 Reunion Place, Suite 400  
San Antonio, Texas 78216 FIRM # 10193973

Tel. No. (210) 541-9166  
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	MAV	JGM	8/3/2022	069293604	1 OF 2

TRACKING NUMBER: FP2207-003

DWG NAME: K:\AUS\_CIVIL\069293604-BRIDGE TOWER HOMES - STONE OAK\TRANSFER-INK\KHA\PLAT\22\220603 RE-PLAT\STONE OAK AT ROUND ROCK, SECTION 6, LOT 2.DWG PLOTTED BY: HARRIS, AYANNA 8/3/2022 9:32 AM LAST SAVED: 8/3/2022 8:44 AM

STATE OF TEXAS §  
COUNTY OF WILLIAMSON §  
THAT BLEVCO II, L.L.C., A TEXAS LIMITED LIABILITY COMPANY, AS THE OWNER OF THAT CERTAIN 8.492 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 2007079075 AND DOCUMENT NUMBER 2010018297, BOTH OF THE OFFICIAL RECORDS OF WILLIAMSON COUNTY, TEXAS DO HEREBY DEDICATE TO THE PUBLIC FOREVER USE OF THE STREETS, ALLEYS, EASEMENTS AND ALL OTHER LANDS INTENDED FOR PUBLIC DEDICATION AS SHOWN HEREON TO BE KNOWN AS REPLAT OF STONE OAK AT ROUND ROCK, SECTION 6, LOT 2 SUBDIVISION.

BLEVCO II, L.L.C.

THOMAS C. BLEVINS  
MANAGER

THE STATE OF TEXAS §  
COUNTY OF WILLIAMSON §  
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_,  
BY, THOMAS C. BLEVINS, AS MANAGER OF BLEVCO II, L.L.C., A TEXAS LIMITED LIABILITY COMPANY,  
ON BEHALF OF SAID BLEVCO II, L.L.C.

NOTARY PUBLIC, STATE OF TEXAS  
PRINTED NAME:  
MY COMMISSION EXPIRES:

THE STATE OF TEXAS §  
COUNTY OF WILLIAMSON §

THAT I, \_\_\_\_\_, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE ON-THE-GROUND SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH CHAPTER 4 - SUBDIVISION DESIGN AND CONSTRUCTION, PART III - ZONING AND DEVELOPMENT CODE, CODE OF ORDINANCES, CITY OF ROUND ROCK, 2018 EDITION AS AMENDED.

JOHN G. MOSIER  
REGISTERED PROFESSIONAL  
LAND SURVEYOR NO. 6330  
601 NW LOOP 410, SUITE 350  
SAN ANTONIO, TEXAS 78216

DATE



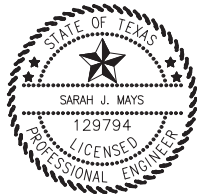
*John G. Mosier*

THE STATE OF TEXAS §  
COUNTY OF WILLIAMSON §

THAT I, \_\_\_\_\_, DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED ON THIS PLAT COMPLIES WITH CHAPTER 4 - SUBDIVISION DESIGN AND CONSTRUCTION, PART III - ZONING AND DEVELOPMENT CODE, CODE OF ORDINANCES, CITY OF ROUND ROCK, 2018 EDITION AS AMENDED, AND THE DESIGN AND CONSTRUCTION STANDARDS ADOPTED BY THE CITY OF ROUND ROCK, TEXAS.

ENGINEERED BY: \_\_\_\_\_  
SARAH J. MAYS, P.E.  
REGISTERED PROFESSIONAL ENGINEER No. 129794  
KIMLEY-HORN AND ASSOCIATES, INC.  
10814 JOLLYVILLE ROAD, AVALON IV, SUITE 200  
AUSTIN, TEXAS 78759

DATE



*sarah j mays*

APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY THE CITY PLANNING AND ZONING COMMISSION OF THE CITY OF ROUND ROCK, TEXAS, AND AUTHORIZED TO BE FILED FOR RECORD BY THE COUNTY CLERK OF WILLIAMSON COUNTY, TEXAS.

THE PROPERTY COVERED BY THIS PLAT IS WITHIN THE CITY LIMITS OF THE CITY OF ROUND ROCK.

JENNIFER HENDERSON, CHAIRMAN  
CITY OF ROUND ROCK PLANNING AND ZONING COMMISSION

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REPLAT OF  
STONE OAK AT ROUND ROCK,  
SECTION 6, LOT 2 SUBDIVISION  
8.492 ACRE TRACT OF LAND SITUATED IN THE EPHRAIM  
EVANS SURVEY, ABSTRACT No. 212, CITY OF ROUND  
ROCK, WILLIAMSON COUNTY, TEXAS.

A METES AND BOUNDS  
DESCRIPTION OF A  
8.492 ACRE TRACT OF LAND

**BEING** a 8.492 acre (369,934 square feet) tract of land situated in the Ephraim Evans Survey, Abstract No. 212, City of Round Rock, Williamson County, Texas; and being all of that certain 7.18 acre tract described in instrument to Blevco II, LLC, recorded in Document No. 2007079075 of the Official Public Records of Williamson County, and all of Lot 2, Block A, Stone Oak at Round Rock, Section 6, Lot 2, plat of which is recorded in Cabinet W, Slides 54-55 of the Plat Records of Williamson County; and being more particularly described as follows:

**BEGINNING** at a 1/2-inch iron rod with yellow plastic cap stamped "CCC 4835" found on the northerly right of way line of Farm to Market Road 1431 (200 feet width public right-of-way), marking the most south-southwest corner of Lot 23, Block A, Stone Oak at Round Rock, Section II, plat of which is recorded in Cabinet M, Slide 389 of the Plat Records of Williamson County, and marking the southeast corner of the herein described tract;

**THENCE**, South 70°19'02" West, 545.68 feet along the said northerly right of way line of Farm to Market Road 1431 to a 1/2-inch iron rod found marking the southeast corner of Stone Oak at Round Rock, Section 6, Lot 1, plat of which is recorded in Cabinet V, Slide 245 of the Plat Records of Williamson County for corner;

**THENCE**, along the northeasterly and northwesterly lines of said Section 6, Lot 1 the following two (2) courses and distances:

- North 19°38'48" West, 199.74 feet to a 1/2-inch iron rod with yellow plastic cap stamped "CCC 4835" found marking the northeast corner of said Section 6, Lot 1 for corner;
- South 70°22'23" West, 249.52 feet to a 1/2-inch iron rod with red plastic cap stamped "KHA" set on the northeasterly right of way line of Stone Oak Drive (90 feet width public right-of-way) marking the northwest corner of said Section 6, Lot 1 for corner;

**THENCE**, North 19°41'25" West, along the said northeasterly right of way line of Stone Oak Drive; at a distance of 67.09 feet passing a 1/2-inch iron rod found online, at a distance of 292.42 feet passing a 1/2-inch iron rod with yellow plastic cap stamped "KC ENGINEERING" found marking the most west-southwest corner of said Stone Oak at Round Rock, Section 6, Lot 2, Block A, and the west corner of said 7.18 acre tract, for a total distance of 332.12 feet to a 1/2-inch iron rod with red plastic cap stamped "KHA" set marking the south corner of Lot 2, Block A of said Stone Oak at Round Rock, Section II, and the west corner of herein described tract for corner;

**THENCE**, North 70°18'14" East, along the southeasterly line of said Stone Oak at Round Rock, Section II, at a distance of 111.00 feet passing a 1/2-inch iron rod found marking the south corner of Lot 4, Block A of said Stone Oak at Round Rock, Section II; at a distance of 361.02 feet passing a 1/2-inch iron rod found marking the south corner of Lot 9, Block A of said Stone Oak at Round Rock, Section II; at a distance of 461.02 feet passing a 1/2-inch iron rod found marking the south corner of Lot 11, Block A of said Stone Oak at Round Rock, Section II; at a distance of 686.56 feet passing a 1/2-inch iron rod with red plastic cap stamped "KHA" set marking the northeast corner of said Stone Oak at Round Rock, Section 6, Lot 2, Block A; for a total distance of 782.53 feet to a cotton spindle found marking the northeast corner of said 7.18 acre tract for corner;

**THENCE**, South 21°02'13" East, 532.43 feet to the **POINT OF BEGINNING** and containing 8.492 acres of land in Williamson County, Texas. The basis of this description is the Texas State Plane Coordinate System, Central Zone (FIPS 4203) (NAD'83). All distances are on the Surface and shown in U.S. Survey Feet. The Combined Surface to Grid Scale Factor is 0.9998800144.

THE STATE OF TEXAS §  
COUNTY OF WILLIAMSON §  
THAT I, NANCY RISTER, CLERK OF THE COUNTY COURT OF SAID COUNTY, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT IN WRITING, WITH ITS CERTIFICATION OF AUTHENTICATION, WAS FILED FOR RECORD IN MY OFFICE ON THE \_\_\_\_ DAY OF \_\_\_\_\_  
A.D. 20\_\_\_\_, AT \_\_\_\_ O'CLOCK \_\_\_\_ M. AND DULY RECORDED ON THE \_\_\_\_ DAY OF \_\_\_\_\_  
A.D. 20\_\_\_\_ AT O'CLOCK \_\_\_\_ M. IN THE PLAT RECORDS OF SAID COUNTY, IN DOCUMENT NO. \_\_\_\_\_.

WITNESS MY HAND AND SEAL OF THE COUNTY COURT OF SAID COUNTY, AT OFFICE IN GEORGETOWN, TEXAS, THE DATE LAST ABOVE WRITTEN.

NANCY RISTER, CLERK, COUNTY COURT  
WILLIAMSON COUNTY, TEXAS

BY: \_\_\_\_\_  
DEPUTY

EXISTING BLANKET, UNDEFINED, OR UNLOCATABLE EASEMENTS NOTE:

- 2012077184, (Unable to determine) Official Public Records, Williamson County, Texas.
- Volume 639, Page 533, (Blanket type) of the Deed Records, Williamson County, Texas.
- Volume 646, Page 315, (Blanket type) of the Deed Records, Williamson County, Texas.
- Volume 796, Page 944, (Blanket type) of the Deed Records, Williamson County, Texas.

# Kimley»Horn

10101 Reunion Place, Suite 400  
San Antonio, Texas 78216

FIRM # 10193973

Tel. No. (210) 541-9166  
www.kimley-horn.com

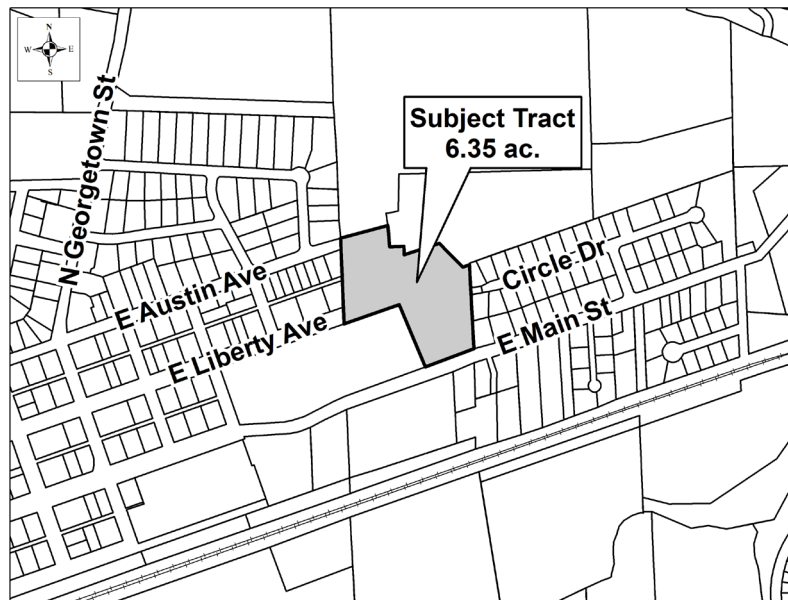
Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	MAV	JGM	8/3/2022	069293604	2 OF 2

DWG NAME: K:\AUS\_CIVIL\069293604-BRIDGE TOWER HOMES - STONE OAK\TRANSFER-INK\HAP\PLAT20220803 RE-PLAT STONE OAK AT ROUND ROCK SECTION 6 LOT 2.DWG PLOTTED BY HARRIS, AYANNA 8/3/2022 9:33 AM LAST SAVED 8/3/2022 9:44 AM

TRACKING NUMBER: FP2207-003



**Main Street Townhomes Planned Unit Development (PUD)**  
**ZONING ZON 2207-001**



**CASE PLANNER:** Clyde von Rosenberg

**REQUEST:** Recommendation of approval for PUD zoning to allow townhouse development

**ZONING AT TIME OF APPLICATION:** C-1 (General Commercial) and SF-2 (Single Family - standard lot)

**DESCRIPTION:** 6.35 acres out of the P.A. Holder Survey, Abstract No. 297

**CURRENT USE OF PROPERTY:** Undeveloped

**COMPREHENSIVE PLAN LAND USE DESIGNATION:** Residential

**ADJACENT LAND USE:**

North: single family and wastewater treatment plant

South: multifamily and single family

East: wastewater treatment plant and single family

West: single family and senior living facility

**PROPOSED LAND USE:** Townhouses

**TOTAL ACREAGE:** 6.35

**Owner:**  
 Round Rock Main Ave LLC  
 Kathleen Hooker  
 370 S Mahoney  
 Ste 115  
 Telluride, CO 81425

**Applicant:**  
 SEC Planning, LLC  
 Peter Verdicchio  
 4201 W. Parmer Ln.  
 Building A, Suite 220  
 Austin, TX 78727

**Developer:**  
 Pulte Homes  
 Ben Wiggings  
 9401 Amberglen Blvd  
 Bldg I, ste 150  
 Austin, TX 78729

**Main Street Townhomes Planned Unit Development (PUD)**  
**ZONING ZON 2207-001**

**HISTORY:** The property has been zoned as C-1 (General Commercial) and SF-2 (Single Family – standard lot) for many years. It is undeveloped.

**DATE OF REVIEW:** August 17, 2022

**LOCATION:** North of E Main St and east of E Liberty Ave

**STAFF REVIEW AND ANALYSIS:**

Comprehensive Plan and Zoning: The Future Land Use Map of the comprehensive plan designates the area for residential uses.

Traffic, Access and Roads: The property has its primary frontage on E. Main Street, while E. Liberty St. and E. Austin Ave. dead end into it.

Proposed PUD: The proposed use is for a maximum of 60 townhouses which feature alley access to the garages in the rear of the units and pedestrian courtyards in the front of the units. The PUD also establishes a design standard for the appearance of the units, which can be a maximum of 2.5 stories high.

Additionally, the PUD requires the preservation of specific trees, three of which are identified by the code as monarchs. Also, an additional ten protected trees which measure as 20" or greater in size will be preserved. A landscape planting area will be required along the site's Main Street frontage.

The appearance of the units, the pedestrian-oriented design, and the preservation of trees will help the project fit in well with the surrounding area. In addition, it meets the City's goal of increasing the number of housing units in downtown.

**RECOMMENDED MOTION:**

Staff recommends approval of the PUD.





N Georgetown St

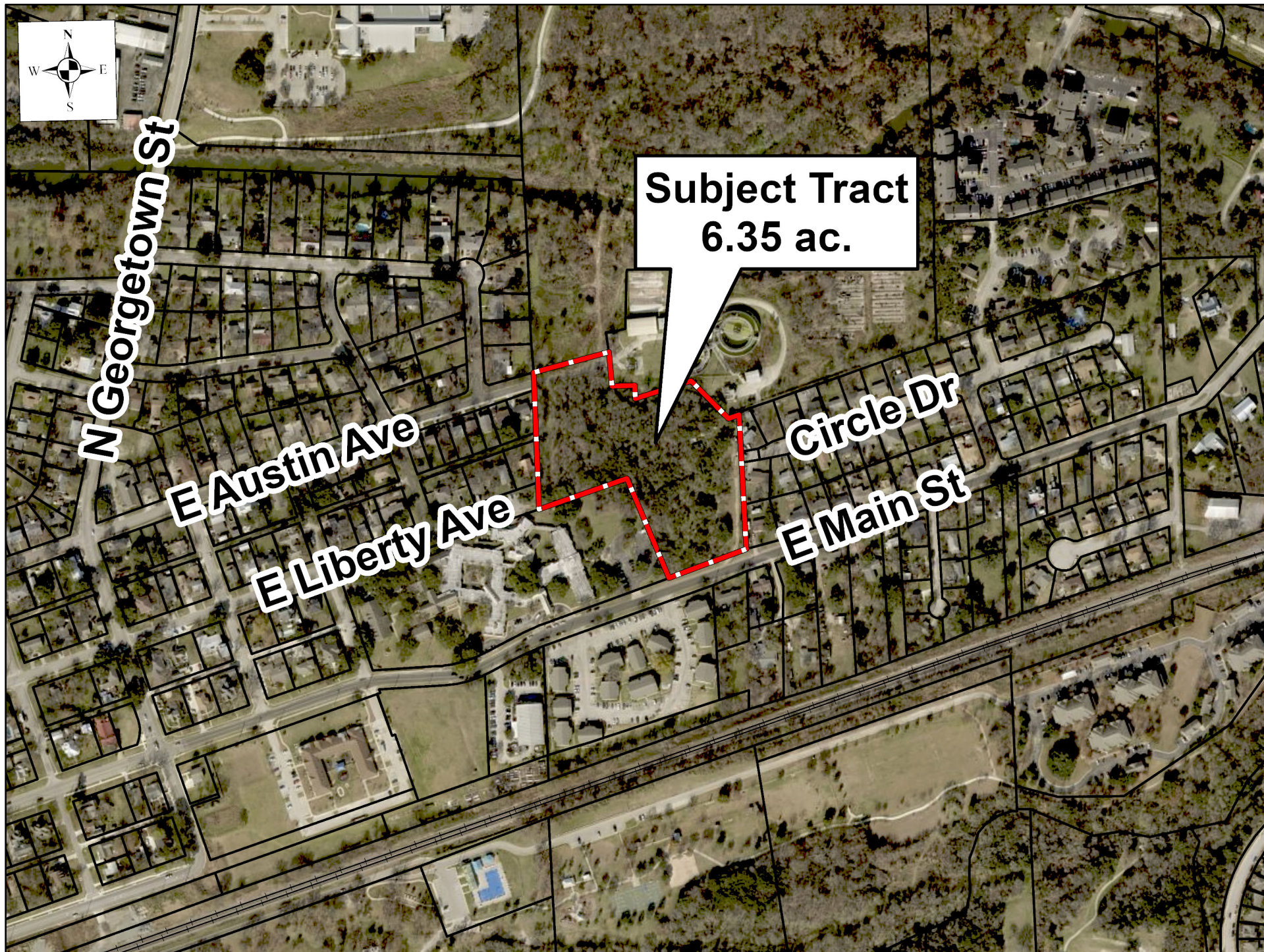
E Austin Ave

E Liberty Ave

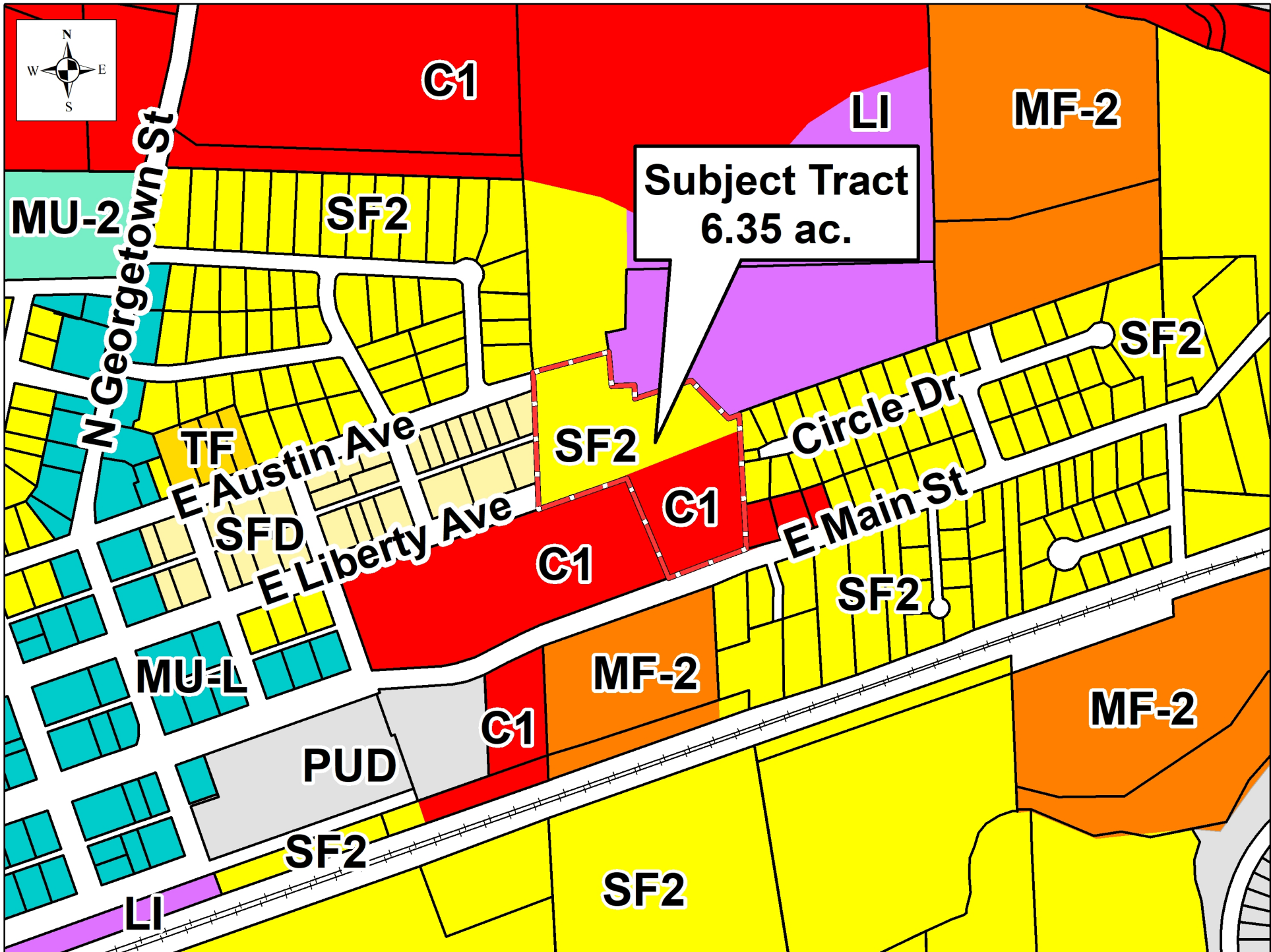
Subject Tract  
6.35 ac.

Circle Dr

E Main St







## **DEVELOPMENT PLAN**

### **1. DEFINITIONS**

Words and terms used herein shall have their usual force and meaning, or as defined in the City of Round Rock Code of Ordinances, as amended, hereinafter referred to as "the Code".

### **2. PROPERTY**

This Development Plan covers approximately 6.34 acres of land, located within the Extraterritorial Jurisdiction of Round Rock, Texas, and more particularly described in **Exhibit "A"**.

### **3. PURPOSE**

The purpose of this Plan is to insure a Planned Unit Development ("PUD") that: (1) is equal to or superior to development that would occur under the standard ordinance requirements, (2) is in harmony with the General Plan of the City of Round Rock, Texas, (3) does not have an undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utilities or any other matters affecting the public health, safety and welfare, (4) is adequately provisioned by essential public facilities and services, and (5) will be developed and maintained so as to not dominate, by scale or massing of structures, the immediate neighboring properties or interfere with their development or use.

### **4. APPLICABILITY OF CITY ORDINANCES**

#### **4.1. Zoning Ordinance**

All aspects not specifically covered by this Plan shall be regulated by the **TH (Townhouse)** zoning district, as amended. If there is a conflict between this Plan and the Code, this Plan shall supersede the specific conflicting provisions of the Code.

#### **4.2. Other Ordinances**

All other Ordinances within the Code shall apply to the Property, except as clearly modified by this Plan. In the event of a conflict, the terms of the Plan shall control.

### **5. PERMITTED USES**

#### **5.1. Townhouse, Common Lot**

- 1) One or more townhouse residential dwellings located on a single ownership lot, with each dwelling unit having a private external entrance and private parking.
- 2) A maximum of 60 units shall be permitted.
- 3) Access shall be provided via private drive aisles.
- 4) All dwelling units shall be established as condominium units, pursuant to the Texas Uniform Condominium Act, Section 82.001 et. seq., Texas Property Code.

#### **5.2. All other uses permitted by the TH (Townhouse) zoning district, as listed in Section 2-25 of the Code.**

## **6. SITE LAYOUT**

The development vision is to create a pedestrian-oriented community. The following design elements shall be required.

### **6.1. Alley Load Residential Product**

The garages shall be accessed from alleys at the rear of the townhouses. No garages shall face Main Street or adjoining properties.

### **6.2. Pedestrian Courtyards**

A pedestrian courtyard shall be located at the front of the townhouses, with no vehicle access to the front of the units. The courtyard shall be landscaped and shall include a sidewalk to each unit and at least one (1) bench and one (1) trash can.

## **7. DEVELOPMENT STANDARDS**

### **7.1. Building Setbacks and Separation**

- 1) Minimum building setback from the Main Street public street right-of-way shall be 10 feet (10').
- 2) Minimum building setback from private drive isles shall be four feet (4').
- 3) Minimum side and rear building setback from adjacent non-residential zoned tracts shall be 10 feet (10').
- 4) Minimum building setback from adjoining residential tracts zoned Single Family Downtown (SF-D) and Single-Family Standard Lot (SF-2) shall be fifteen feet (15').
- 5) Minimum building setback from private alley shall be 0 feet (0').
- 6) Building separation shall be a minimum of 10 feet, measured from roof eave to roof eave, or a minimum of 5 feet, measured from the assumed lot line to the roof eave, unless the eaves are one hour fire-rated and the decking is fire retardant for the length of the roof, or as otherwise approved by the building official.

### **7.2. Height**

- 1) No structure shall exceed two and one-half (2.5) stories in height.

### **7.3. Building Design and Exterior Materials**

- 1) Building design and exterior materials shall substantially conform to the renderings in **Exhibit "B"**.
- 2) A minimum of one (1) key architectural feature, such as but not limited to balconies, box windows, canopies/awnings, patios or porches shall be incorporated on all front elevations.

### **7.4. Private Drive Aisles**

- 1) Each private drive aisle shall be a minimum of 26 feet (26') in width from 'face of curb' to 'face of curb'.
- 2) Private drive aisles shall not be gated.
- 3) Private drive aisles shall be designed and constructed according to the

currently adopted City of Round Rock Transportation Criteria Manual for the purposes of pavement design including but not limited to, geotechnical reports, asphalt thickness, flexible base type and thickness, and subgrade preparation and thickness.

#### **7.5. Parking**

- 1) A total of two (2) garage enclosed resident parking spaces per unit are required.
- 2) Guest parking shall be provided as required:
  - a) A minimum of one (1) guest parking space must be provided for every two (2) residential units.
  - b) The maximum distance from the required guest parking to the unit(s) is four hundred feet (400'), measured along drive lanes and pedestrian trail corridors.
  - c) Parking spaces shall be adjacent to the drive aisles and aligned 90-degrees and shall be designed in accordance with City Transportation Design and Construction Standards.

#### **7.6. Landscaping**

All applicable landscaping standards contained in Chapter 8, Article II of the Code shall apply, with the following modifications:

- 1) Drought Tolerant Turf Grasses  
All development areas, including residential, which include turf shall utilize Drought Tolerant Turf Grasses, as defined by the Code.
- 2) Native Adapted Plants  
Plant material shall be of a native and/or adapted species, including those selected from *Native and Adapted Landscape Plants, an Earth-Wish Guide for Central Texas*, created by the Texas Cooperative Extension, Grow Green and the Lady Bird Johnson Wildflower Center.
- 3) Main Street frontage
  - a) Landscaping shall be provided along Main Street in an eight-foot (8') wide linear planting bed. The minimum landscaping required for this purpose shall be based on the measured linear footage along the length of the property line (excluding ingress/egress to the public road) adjacent to the public right-of-way
  - b) The required minimum quantity of landscaping is as follows:
    - i. One large tree or two small trees per 40 linear feet, or fraction thereof;
    - ii. One small tree per 60 linear feet, or fraction thereof; and
    - iii. One large shrub, small shrub, or ornamental grass per four (4) linear feet, or fraction thereof.
  - c) Any combination of large shrubs, small shrubs, and ornamental

grasses is acceptable.

- d) There shall be no gap between required landscaping exceeding 25 percent of the length of the landscaped area, unless approved by the zoning administrator.
- e) Notwithstanding the requirements of the Tree Technical Manual, small trees may be grouped no closer than 12 feet apart and large trees may be grouped no closer than 30 feet apart for the purpose of meeting the requirements of this subsection.

#### **7.7. Amenities**

At least one amenity from the list in Section 2-20 (f) of the Code shall be provided.

#### **7.8. Protected Tree Size and Tree Preservation**

- 1) Trees having a diameter of 20 inches (20”) or more are protected trees for the purpose of applying Chapter 8, Article III - Tree Protection and Preservation of the Code.
- 2) All Monarch Trees, as defined in Chapter 8, Article III and indicated on **Exhibit “C”**, shall be preserved in accordance with the Code and with the Tree Technical Manual of the City.
- 3) All trees having a diameter of 20 inches (20”) or more, which are identified on **Exhibit “C”**, shall be preserved in accordance with the Code and with the Tree Technical Manual of the City.

#### **7.9. Maintenance**

A private homeowners association shall be established for the maintenance of landscaping, irrigation, private drive lanes, community signage, walls, medians, common open spaces, and private utilities such as storm lines, wastewater service lines, and stormwater inlets.

### **8. CHANGES TO DEVELOPMENT PLAN**

#### **8.1. Minor Changes**

Minor changes to this Plan which do not substantially and adversely change this Plan may be approved administratively, if approved in writing, by the Director of Planning and Development Services and the City Attorney.

#### **8.2. Major Changes**

All changes not permitted above shall be resubmitted following the same procedure required by the original PUD application.



## **LIST OF EXHIBITS**

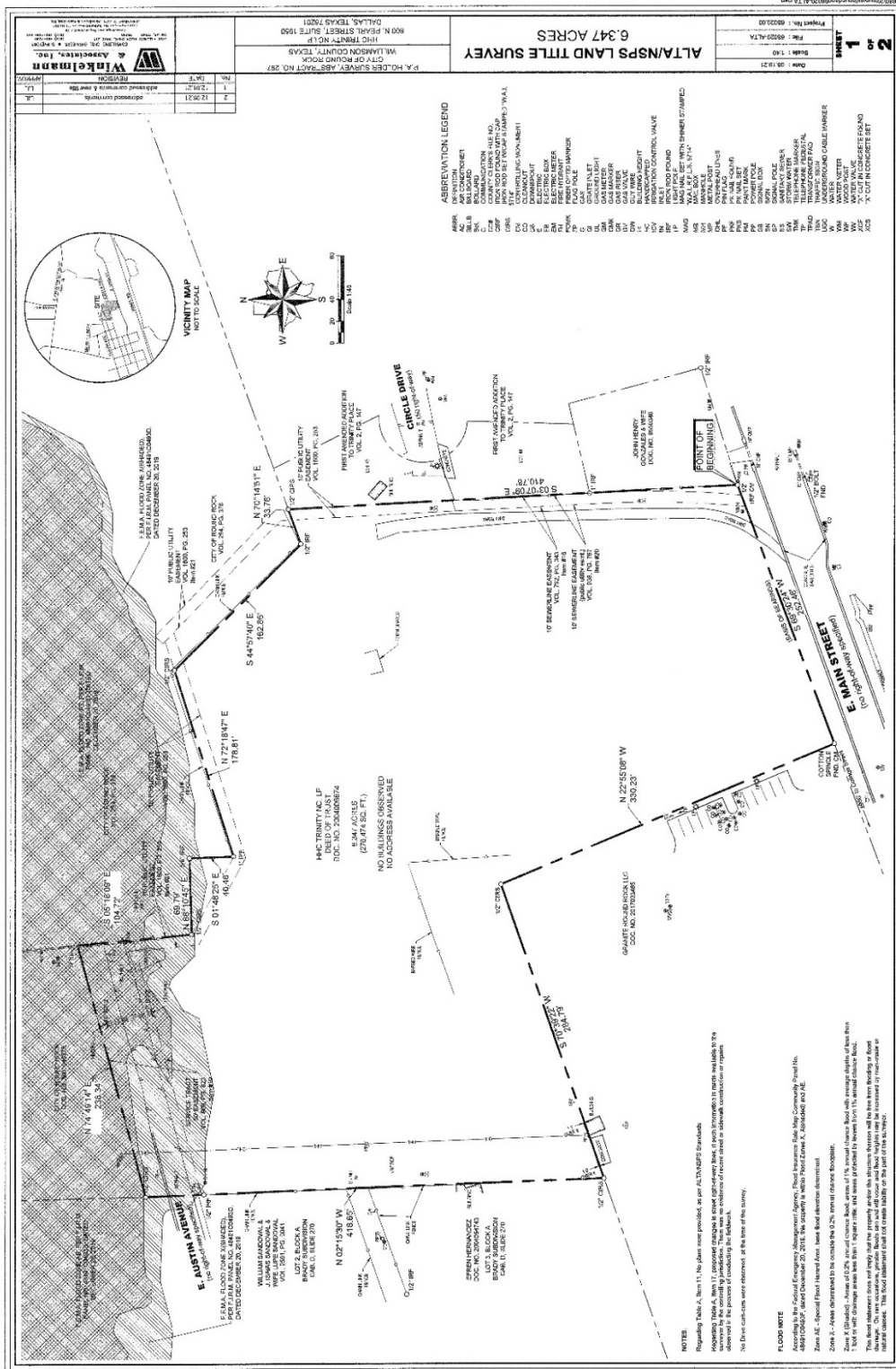
**Exhibit “A”:** Survey/Field Notes of 6.34-acre tract

**Exhibit “B”:** Prototypical Building Elevation

**Exhibit “C”:** Location of Preserved Trees

# EXHIBIT "A"

## Survey/Field Notes



## 7

[illegible]

**EXHIBIT "B"**  
**Prototypical Building**  
**Elevation**



The site plan illustrates the layout of the Trinity Care Center. Key features include:
 

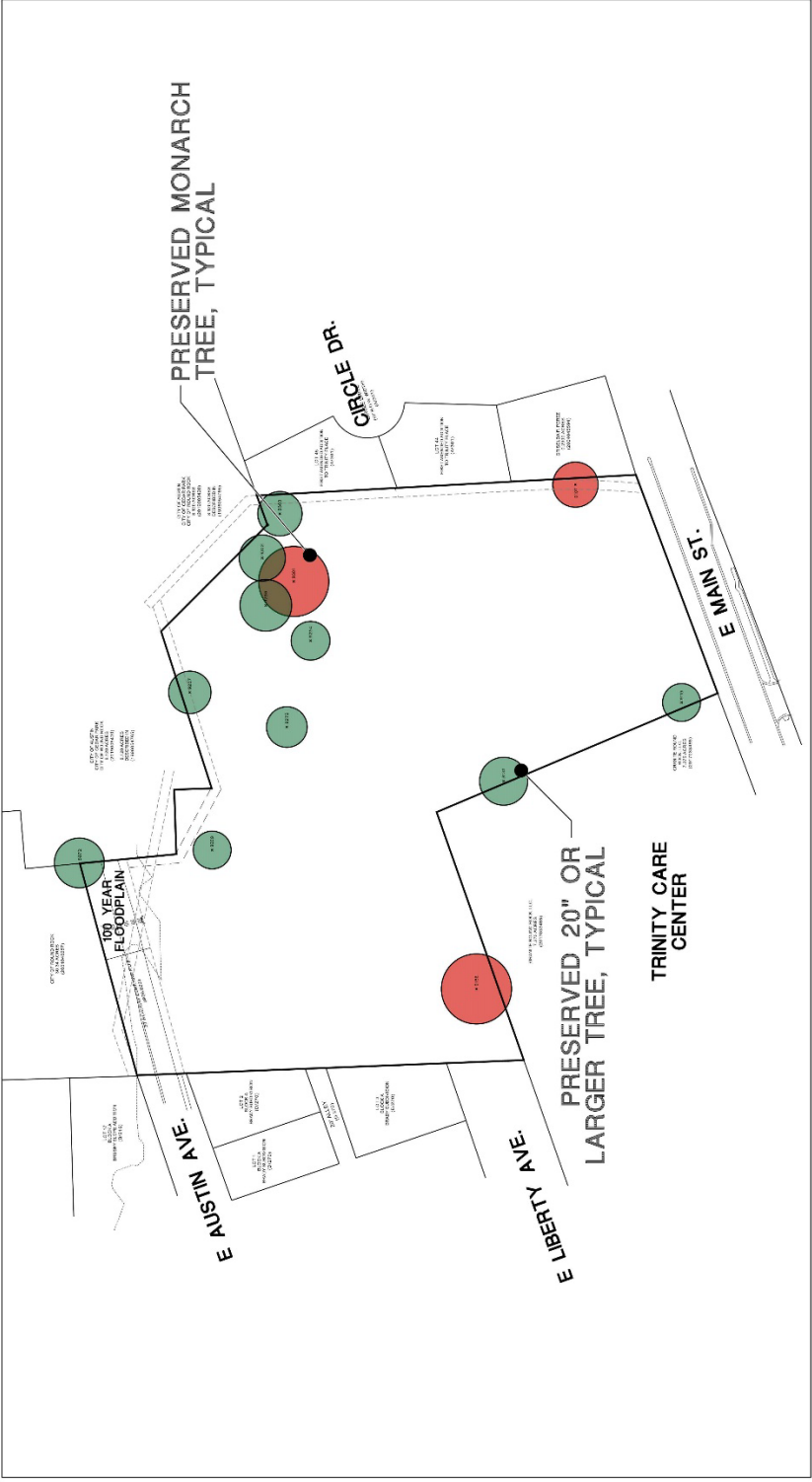
- Streets:** E Austin Ave, E Liberty Ave, E Main St, and Circle Dr.
- Floodplains:** A 100-year floodplain is shown along E Austin Ave, and a 500-year floodplain is indicated near the center.
- Tree Locations:** Trees are marked with circles. A large red circle (20" or larger) is located near E Liberty Ave. Several green circles (typical) are scattered throughout the site, with one specifically labeled 'PRESERVED MONARCH TREE, TYPICAL' near Circle Dr.
- Other Labels:** 'TRINITY CARE CENTER' is labeled near E Main St. Various lot numbers and dimensions are provided for different parcels.

The site plan illustrates the layout of the Trinity Care Center. Key features include:
 

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PRESERVED TREES  
MAIN STREET TOWNHOMES

**PulteGroup, Inc.**  
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SEC Planning, LLC

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