



City of Round Rock

Planning and Zoning Commission

Meeting Agenda - Final

Chairman David Pavliska
Vice Chair Matt Baker
Alternate Vice Chair Rob Wendt
Commissioner Stacie Bryan
Commissioner Casey Clawson
Commissioner Jennifer Henderson
Commissioner Greg Rabaey
Commissioner Selicia Sanchez
Commissioner Jennifer Sellers

Wednesday, April 5, 2017

7:00 PM

City Council Chambers, 221 East Main St.

A. CALL TO ORDER - 7:00 P.M.

B. ROLL CALL

C. PLEDGES OF ALLEGIANCE

D. APPROVAL OF MINUTES:

- D.1 [2017-4333](#) Consider approval of the minutes for the March 1, 2017, Planning and Zoning Commission meeting.

E. PLATTING AND ZONING:

- E.1 [2017-4334](#) Consider public testimony and a recommendation regarding the request filed by the City of Round Rock, on behalf of the owners, Rex and Karen Mustard, to Replat Joyce Lane Subdivision, Lots 4 and 5, Block A. Generally located at the end of Joyce Lane; north of Gattis School Rd. Case No. FP1703-001

- E.2 [2017-4335](#) Consider public testimony and a recommendation regarding the request filed by Waeltz & Prete, Inc., on behalf of the City of Round Rock, for the rezoning of approximately 3.88 acres of land from MU-1 (Mixed-use historic commercial core) district to PUD (Planned Unit Development) to be known as The Depot Townhomes. Generally located southeast of S. Mays St. and E. Bagdad Ave. Case No. ZON1703-002

F. STAFF REPORT:

- F.1 [2017-4336](#) Consider an update regarding Council actions related to Planning and Zoning items.

G. ADJOURNMENT

In addition to any executive session already listed above, the Planning and Zoning Commission for the City of Round Rock reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by Texas Government Code for the following purposes:

§551.071 Consultation with Attorney

§551.072 Deliberations regarding Real Property

§551.073 Deliberations regarding Gifts and Donations

§551.074 Personnel Matters

§551.076 Deliberations regarding Security Devices

§551.087 Deliberations regarding Economic Development Negotiations

POSTING CERTIFICATION

I certify that this notice of the Planning and Zoning Commission Meeting was posted on the 30th day of March 2017 at 5:00 p.m. as required by law in accordance with Section 551.043 of the Texas Government Code.

/ORIGINAL SIGNED/

Sara L. White, TRMC, City Clerk

**PLANNING AND ZONING COMMISSION
WEDNESDAY, MARCH 1, 2017 AT 7:00 PM**

DRAFT - MEETING MINUTES

A. CALL TO ORDER

The Round Rock Planning and Zoning Commission met in regular session on March 1, 2017, in the Round Rock City Council Chambers located at 221 East Main Street. With a quorum present, Chairman David Pavliska called the meeting to order at 7:00 p.m.

B. ROLL CALL

Present were Chairman David Pavliska, Vice Chair Matthew Baker, Commissioner Stacie Bryan, Commissioner Jennifer Henderson, Commissioner Selicia Sanchez, and Commissioner Rob Wendt. Commissioner Greg Rabaey was absent.

Planning and Development Services Department staff included Brad Wiseman, Susan Brennan, Clyde von Rosenberg, David Fowler, Laton Carr, and Veronica Chandler. Also present was Gerald Pohlmeier and Kamie Fitzgerald from the Transportation Department and Charlie Crossfield from the City attorney's office.

C. PLEDGES OF ALLEGIANCE

D. APPROVAL OF MINUTES:

D1. Consider approval of the minutes for the February 15, 2017, Planning and Zoning Commission meeting.

With there being no questions or comments, a motion was offered.

Motion: Motion by Commissioner Sanchez, second by Commissioner Henderson to approve Agenda Item D1 as presented.

Vote: AYES: Chairman Pavliska, Vice Chair Baker, Commissioner Bryan, Commissioner Henderson, Commissioner Sanchez, and Commissioner Wendt. Vote to approve: 6 - 0. The motion carried unanimously.

E. PLATTING AND ZONING:

E1. Consider approval of the Arden Park Preliminary Plat. Generally located southeast corner of Red Bud Ln. and CR 123. Case No. PP1609-001

Mr. von Rosenberg stated that the applicant requested that no action be taken for this item until the flood study had been completed and approved. This item will be placed on a future agenda after the flood study has been approved by City Staff.

No action was taken.

E2. Consider approval of the Glen Ellyn Revised Preliminary Plat. Generally located southeast of the intersection of Louis Henna Blvd. and S. A.W. Grimes Blvd. Case No. PP1701-001

Mr. Fowler briefly reviewed the application stating that the purpose of the application was to remove the community center from the original plat and replace it with 10 additional residential lots. He explained that the PUD (Planned Unit Development) did not require a community center and that only the residential and open space lots changed from the original plat. Staff recommended approval as conditioned.

With there being no questions or comments, a motion was offered.

Motion: Motion by Vice Chair Baker, second by Commissioner Bryan to approve as conditioned.

Vote: AYES: Chairman Pavliska, Vice Chair Baker, Commissioner Bryan, Commissioner Henderson, Commissioner Sanchez, and Commissioner Wendt. Vote to approve: 6 - 0. The motion carried unanimously.

E3. Consider approval of the Glen Ellyn Final Plat. Generally located southeast of the intersection of Louis Henna Blvd. and S. A.W. Grimes Blvd. Case No. FP1701-010

Mr. Fowler explained that the plat was a revision of the residential final plat that was approved on April 20, 2016. He stated that the purpose of the application was to remove the community center from the original plat and replace it with 10 additional residential lots, as stated in Agenda Item E2. He also explained that the residential section will be called "Section One". Staff recommended approval as conditioned.

With there being no questions or comments, a motion was offered.

Motion: Motion by Commissioner Bryan, second by Commissioner Sanchez to approve as conditioned.

Vote: AYES: Chairman Pavliska, Vice Chair Baker, Commissioner Bryan, Commissioner Henderson, Commissioner Sanchez, and Commissioner Wendt. Vote to approve: 6 - 0. The motion carried unanimously.

E4. Consider approval of the Interchange Business Park, Sec. 2 – Lot 5A, Block B Amending Plat. Generally located northeast of the intersection of Double Creek Dr. and Louis Henna Blvd. Case No. FP1701-009

Mr. Fowler briefly reviewed the proposed application stating that the purpose of the application was to move a lot line 15 ft. to the north. He explained that moving the lot line will make the lot further to the north smaller, however, the lot met the minimum size requirement for the district. Staff recommended approval as conditioned.

The owner's representative, Mr. Ron Thrower, with Thrower Design, was available to answer questions.

Following a brief discussion, a motion was offered.

Motion: Motion by Commissioner Sanchez, second by Commissioner Bryan to approve as conditioned.

Vote: AYES: Chairman Pavliska, Vice Chair Baker, Commissioner Bryan, Commissioner Henderson, Commissioner Sanchez, and Commissioner Wendt. Vote to approve: 6 - 0. The motion carried unanimously.

E5. Consider public testimony and a recommendation regarding the request filed by Hickerson Round Rock Land, LP, for Amendment No. 2 to PUD 62 (Provident Crossings Planned Unit Development) to allow a restaurant with a drive through, subject to specific conditions. Generally located southwest of the intersection of S. A.W. Grimes Blvd. and Gattis School Rd. Case No. ZON1701-001

Mr. von Rosenberg briefly explained the purpose of the application was to allow fast food restaurants that use a microphone and speaker system to place orders from the drive thru area. He explained that the current code for drive through restaurants requires speaker boxes and associated facilities to be located a minimum of 150 ft. from any residential property line.

Mr. von Rosenberg stated that the current code requirement had not been adopted when the PUD was approved. Currently, PUD 62 requires the following: 50' wide landscape buffer, 8' high precast concrete panel wall, and landscape plantings along the western boundary adjacent to the single family zoning. In order to have the PUD amended, in lieu of meeting the current distance requirement, the applicant agreed to include a landscape berm and plant additional plants as a buffer.

He also stated that the applicant and staff contacted the adjacent neighbors to the west and discussed the proposed project; no objections were expressed. Staff recommended approval as presented.

The owner's representative, Mr. Josh Miksch, with Jones & Carter, Inc., was available to answer questions.

Chairman Pavliska opened the public hearing and asked anyone wishing to speak for or against this item to come forward. The following Round Rock citizen spoke during the public hearing: Michelle Loning, 1732 Windy Park Circle. Ms. Loning expressed concern regarding the type of business proposed for that location and the hours of operation.

Following a brief discussion, a motion was offered.

Motion: Motion by Commissioner Henderson, second by Commissioner Wendt to approve as conditioned.

Vote: AYES: Chairman Pavliska, Vice Chair Baker, Commissioner Bryan, Commissioner Henderson, Commissioner Sanchez, and Commissioner Wendt. Vote to approve: 6 - 0. The motion carried unanimously.

F. STAFF REPORT:

F1. Consider an update regarding Council actions related to Planning and Zoning items.

Mr. Wiseman stated there were no City Council updates regarding Planning and Zoning items and reminded the Commission that the next Planning and Zoning meeting is scheduled for April 5th.

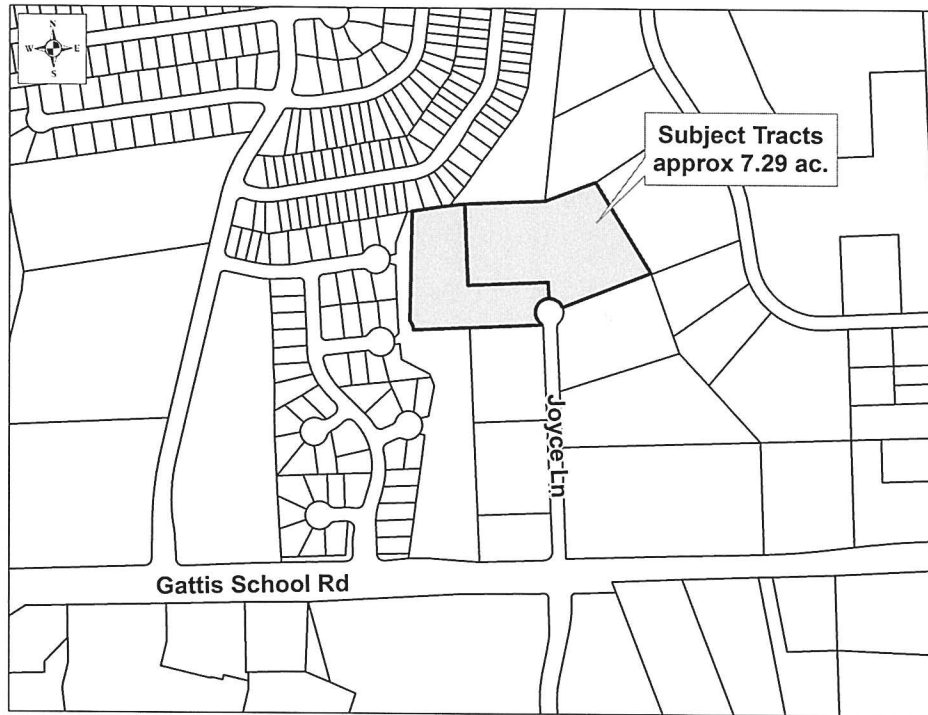
G. ADJOURNMENT

There being no further discussion, the meeting adjourned at 7:40 p.m.

Respectfully Submitted,

Veronica Chandler, Planning Tech

**Replat of Joyce Lane Subdivision Lots 4 and 5, Block A
FINAL PLAT FP1703-001**



CASE PLANNER: David Fowler

REQUEST: Approval of Replat

ZONING AT TIME OF APPLICATION: SF-2

DESCRIPTION: 7.29 acres out of the P.A. Holder Survey, Abstract No. 297

CURRENT USE OF PROPERTY: Residential

GENERAL PLAN LAND USE DESIGNATION: Residential, open space

ADJACENT LAND USE:

North: Residential, open space

South: Residential, open space

East: Residential

West: Residential

PROPOSED LAND USE: Residential, open space

<u>PROPOSED LOTS BY TYPE:</u>	<u>NUMBER OF LOTS</u>	<u>ACREAGE</u>
Residential - Single Unit:	2	5.89
Residential - Multi Unit:	0	0.00
Office:	0	0.00
Commercial:	0	0.00
Industrial:	0	0.00
Open/Common Space:	1	1.40
ROW:	0	0.00
Parkland:	0	0.00
Other:	0	0.00
TOTALS:	3	7.29

Owner:
 REX M & KAREN M MUSTARD
 1107 JOYCE LN
 ROUND ROCK, TX 78664-9710

Agent
 City of Round Rock
 Danny Halden
 221 E. Main St.
 Round Rock, TX 78664

Replat of Joyce Lane Subdivision Lots 4 and 5, Block A
FINAL PLAT FP1703-001

HISTORY: The Planning and Zoning Commission approved the Joyce Lane Subdivision on August 8, 2006.

DATE OF REVIEW: April 5, 2017

LOCATION: North and west frontages of the cul-de-sac at the end of Joyce Lane, north of Gattis School Road.

STAFF REVIEW AND ANALYSIS:

Overview: This replat will divide the existing lot 4 into two new lots: Lot 4A, which will remain a residential lot, and lot 4B, which will become a special purpose lot for drainage. The city of Round Rock intends to purchase lot 4B, adding it to the drainage ways it owns in the vicinity of Dry Branch Creek. The replat also moves the eastern lot line between existing Lots 4 and 5 slightly to the west, making the resulting Lot 5A slightly larger.

General Plan and Zoning: The general plan designation for the plat's site is a combination of residential and open space. The zoning for the site is SF-2, single-family standard lot district. The SF-2 district allows residential uses on a minimum lot size of 6,500 square feet, while also having several other conditional uses listed. The SF-2 district also has building setback and materials standards, which would affect the construction of a house on the proposed lot 4A, which is currently vacant. Both residential lots in this plat exceed the 5,500 square foot minimum lot size.

Traffic, Access and Roads: Lot 4A, which will be a remaining residential lot after Lot 4B has been created through this replat, has access to Joyce Lane. Lot 4B, the special purpose lot, has access from other city-owned lots to the north and south.

Water and Wastewater Service: The two residential lots on the plat are not currently served by utilities. Lot 4A will be required to connect to city services available in Joyce Lane when constructing a residence on the property. Lot 5A is required to connect to city water and sewer at the time that their well or septic systems fail or require replacement.

Drainage: Lot 4B is a drainage lot that will connect to city-owned drainage lots to the north and south. Lot 4B and the nearby city-owned lots incorporate the creek bed of Dry Branch Creek. Lot 4A will drain to lot 4B. Lot 5A will drain to both Dry Branch Creek and its tributary to the east.

RECOMMENDED MOTION:

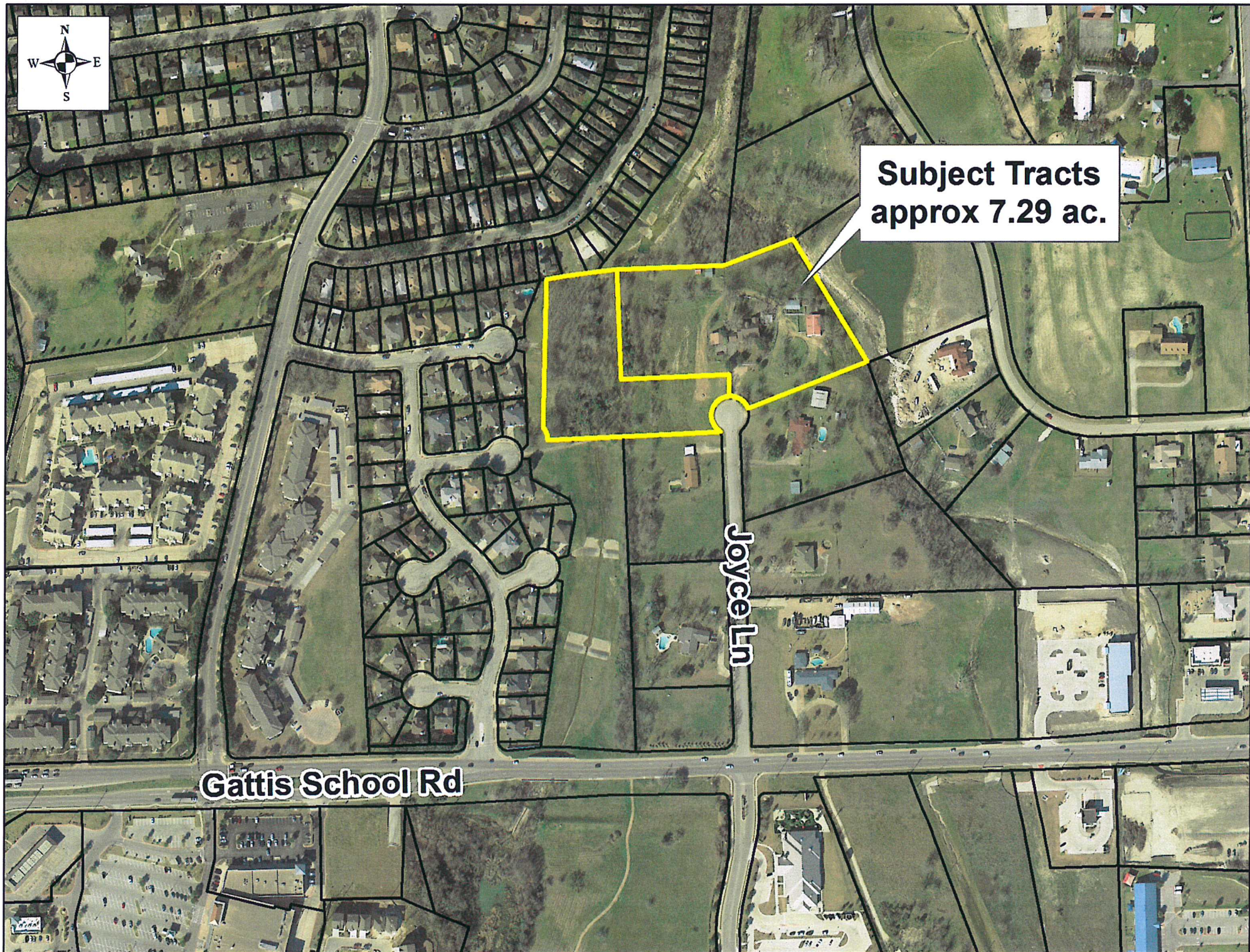
Staff recommends approval of the replat



**Subject Tracts
approx 7.29 ac.**

Joyce Ln

Gattis School Rd



REPLAT OF LOTS 4 AND 5, BLOCK A
JOYCE LANE SUBDIVISION
FINAL PLAT
CITY OF ROUND ROCK, WILLIAMSON COUNTY, TEXAS

OWNER: REX MUSTARD AND WIFE, KAREN MUSTARD
1107 JOYCE LANE
ROUND ROCK, TEXAS 78664

ACREAGE: 7.29 ACRES

NUMBER OF BLOCKS: ONE

LINEAR FEET OF NEW STREETS: NONE

SUBMITTAL DATE: MARCH 7, 2017

DATE OF PLANNING & ZONING COMMISSION REVIEW: APRIL 5, 2017

BENCHMARK: CUT SQUARE SET ON SIDEWALK AT THE WEST END
OF A CONCRETE FLUME ON CANYON TRAIL COURT
ELEVATION: 713.08' (NAVD '88)

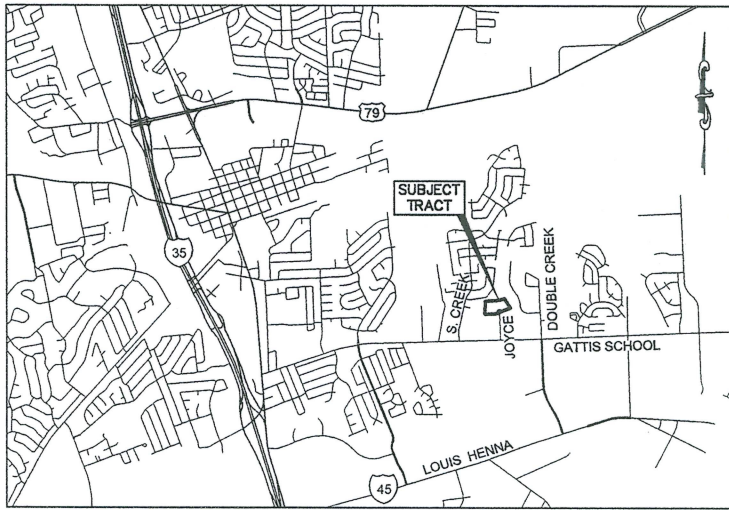
ACREAGE BY LOT TYPE: 5.89 ACRES DEVELOPMENT LOTS AND
1.40 ACRES SPECIAL PURPOSE LOT

NUMBER OF LOTS BY TYPE: 2 LOTS DEVELOPMENT AND
1 SPECIAL PURPOSE LOT

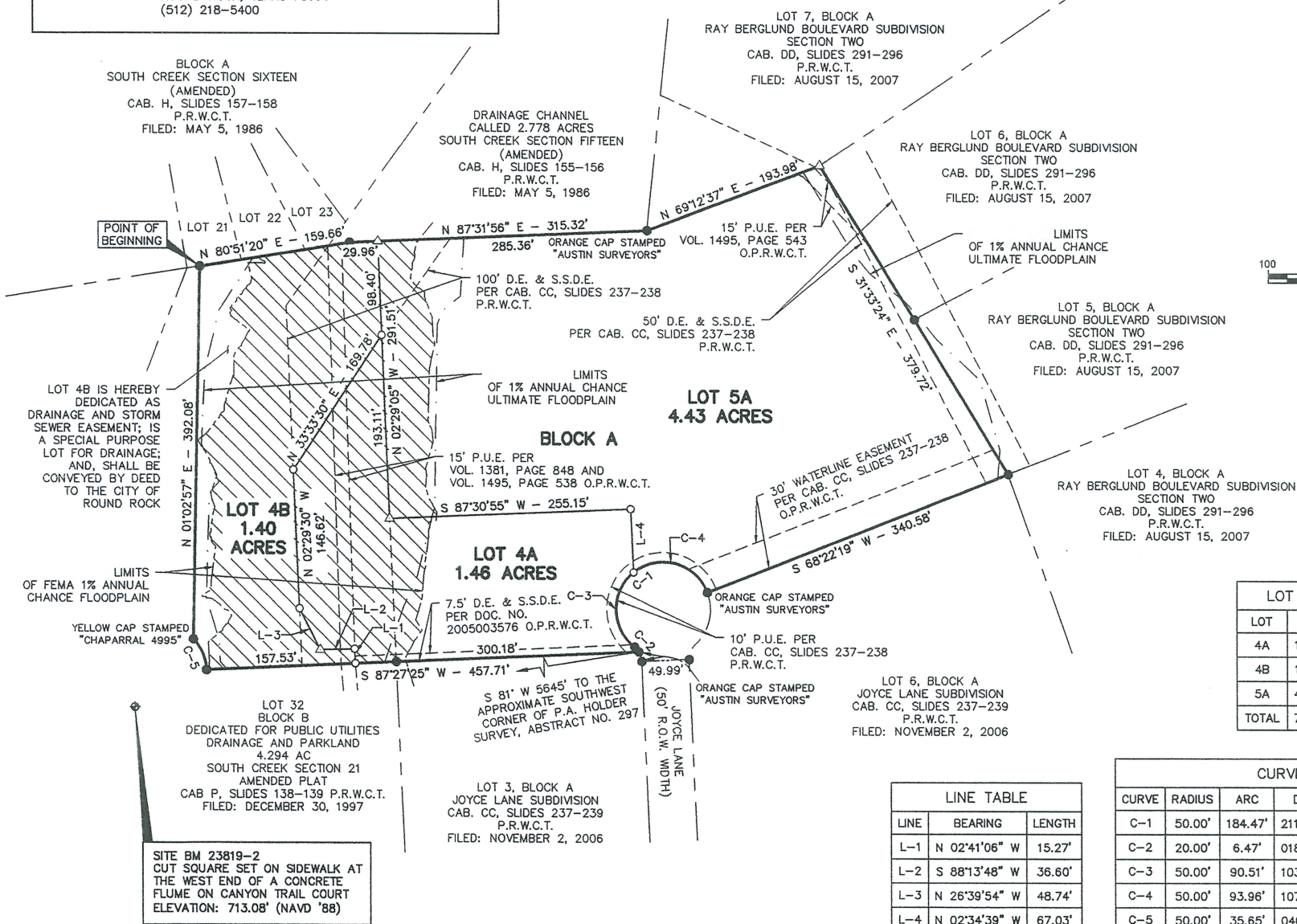
PATENT SURVEY: P. A. HOLDER SURVEY, ABSTRACT NO. 297

SURVEYOR: DANIEL M. FLAHERTY, R.P.L.S.
CP&Y, INC.
ONE CHISHOLM TRAIL, SUITE NO. 130
ROUND ROCK, TEXAS 78681
PH. (512) 248-0065
TBPLS FIRM LICENSE NO. 10051701

ENGINEER: DANIEL L. HALDEN, P.E.
CITY OF ROUND ROCK
221 EAST MAIN STREET
ROUND ROCK, TEXAS 78664
(512) 218-5400



LOCATOR MAP
1 INCH = 4,000 FEET



LOT TABLE	
LOT	ACREAGE
4A	1.46 ACRES
4B	1.40 ACRES
5A	4.43 ACRES
TOTAL	7.29 ACRES

CURVE TABLE					
CURVE	RADIUS	ARC	DELTA	CH. BEARING	CHORD
C-1	50.00'	184.47'	211°23'30"	S 53°05'26" W	96.27'
C-2	20.00'	6.47'	018°32'51"	S 41°18'29" E	6.45'
C-3	50.00'	90.51'	103°43'01"	S 00°44'48" E	78.65'
C-4	50.00'	93.96'	107°40'29"	N 75°03'03" W	80.73'
C-5	50.00'	35.65'	040°51'03"	N 22°26'51" W	34.90'

LINE TABLE		
LINE	BEARING	LENGTH
L-1	N 02°41'06" W	15.27'
L-2	S 88°13'48" W	36.60'
L-3	N 26°39'54" W	48.74'
L-4	N 02°34'39" W	67.03'

PLAT NOTES:

- A PORTION OF THIS TRACT IS ENCLOSED BY SPECIAL FLOOD HAZARD AREA INUNDATED BY THE 1% ANNUAL CHANCE FLOODPLAIN AS IDENTIFIED BY THE U.S. FEDERAL EMERGENCY MANAGEMENT AGENCY BOUNDARY MAP (FLOOD INSURANCE RATE MAP) COMMUNITY PANEL NUMBER 48491C0635E, DATED: SEPTEMBER 26, 2008.
- BUILDING SETBACK SHALL BE IN ACCORDANCE WITH CHAPTER 46, ZONING, CODE OF ORDINANCES, CITY OF ROUND ROCK, TEXAS 2010 EDITION, AS AMENDED.
- SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 36, SUBDIVISIONS CODE OF ORDINANCES, CITY OF ROUND ROCK, TEXAS, 2010 EDITION, AS AMENDED, AND WITH THE DESIGN AND CONSTRUCTION STANDARDS.
- A TEN FOOT (10') P.U.E. AND SIDEWALK EASEMENT ABUTTING AND ALONG THE STREET SIDE PROPERTY LINE IS HEREBY CONVEYED FOR ALL STREET SIDE PROPERTY LINES SHOWN HEREON.
- A DEED CONVEYING LOT 4B TO THE CITY OF ROUND ROCK REFERRING THE DOCUMENT NUMBER OF THIS FINAL PLAT SHALL BE RECORDED.
- COVENANTS AND RESTRICTIONS PER VOLUME 576, PAGE 555 AND VOLUME 583, PAGE 244 OF D.R.W.C.T. AND CABINET CC, SLIDE 237 OF THE P.R.W.C.T.
- TERMS, CONDITIONS, AND STIPULATIONS REGARDING ACCESS EASEMENT AND RIGHTS PER VOLUME 1881, PAGE 144.
- TEXAS POWER AND LIGHT ELECTRIC TRANSMISSION LINE AND/OR DISTRIBUTION LINE EASEMENTS PER VOLUME 299, PAGE 419, VOLUME 304, PAGE 576, AND VOLUME 642, PAGE 526 D.R.W.C.T., MAY AFFECT TRACT, INSUFFICIENT DESCRIPTION IN DOCUMENT.
- THE FINISHED FLOOR ELEVATION FOR ANY BUILDING CONSTRUCTED ON LOT 4A OR LOT 5A AFTER THE RECORDATION DATE OF THIS PLAT SHALL BE A MINIMUM OF TWO FEET ABOVE THE ULTIMATE 1% ANNUAL CHANCE FLOODPLAIN ELEVATION; SAID FINISHED FLOOR ELEVATION SHALL BE SUBJECT TO THE APPROVAL OF THE CITY'S FLOODPLAIN ADMINISTRATOR.
- ALL EXISTING AND PROPOSED EASEMENTS DESCRIBED HEREIN ARE TO THE BENEFIT OF THE CITY OF ROUND ROCK UNLESS OTHERWISE NOTED.
- NO FENCES, STRUCTURES, STORAGE, OR FILL SHALL BE PLACED WITHIN THE LIMITS OF THE ULTIMATE 1% ANNUAL CHANCE FLOODPLAIN UNLESS APPROVED BY THE CITY ENGINEER. FILL MAY ONLY BE PERMITTED BY THE CITY ENGINEER AFTER APPROVAL OF THE PROPER ANALYSIS.

REPLAT OF LOTS 4 AND 5, BLOCK A
JOYCE LANE SUBDIVISION
FINAL PLAT

Proj. No. 24012	Sheet 1	C-1460
Date: 01-25-2017	of 2	
Drawing: 24012R-PLAT		
Scale: 1" = 100'		



THE WALLACE GROUP
engineers architects surveyors
A CP&Y COMPANY

WACO KILLEEN DALLAS ROUND ROCK
1 Chisholm Trail, Suite 130, Round Rock, Texas 78681 | 512.248.0065
TBPLS 10051701

REPLAT OF LOTS 4 AND 5, BLOCK A
JOYCE LANE SUBDIVISION
FINAL PLAT
CITY OF ROUND ROCK, WILLIAMSON COUNTY, TEXAS

STATE OF TEXAS §
COUNTY OF WILLIAMSON §

THAT, WE, REX MUSTARD AND WIFE, KAREN MUSTARD, AS THE OWNER OF THAT CERTAIN 7.29 ACRE TRACT OF LAND RECORDED IN VOLUME 2600, PAGE 801 OF THE OFFICIAL RECORDS OF WILLIAMSON COUNTY, TEXAS DO HEREBY DEDICATE TO THE PUBLIC FOREVER USE OF THE STREETS, ALLEYS, EASEMENTS AND ALL OTHER LANDS INTENDED FOR PUBLIC BE KNOWN AS REPLAT OF LOTS 4 AND 5, BLOCK A, JOYCE LANE SUBDIVISION.

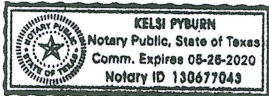
Rex Mustard
REX MUSTARD

THE STATE OF TEXAS §
COUNTY OF WILLIAMSON §

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE 10 DAY OF March
2019, BY, REX MUSTARD.

NOTARY PUBLIC, STATE OF TEXAS

PRINTED NAME: Kelsi Pyburn
MY COMMISSION EXPIRES: 5/29/2020



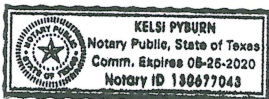
Karen Mustard
KAREN MUSTARD

THE STATE OF TEXAS §
COUNTY OF WILLIAMSON §

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE 10 DAY OF March
2019, BY, KAREN MUSTARD.

NOTARY PUBLIC, STATE OF TEXAS

PRINTED NAME: Kelsi Pyburn
MY COMMISSION EXPIRES: 5/29/2020



STATE OF TEXAS §
COUNTY OF FRANKS §

THAT, AUSTIN TELCO FEDERAL CREDIT UNION, THE LIEN HOLDER OF THAT CERTAIN 4.394 ACRE TRACT OF LAND RECORDED IN DOCUMENT NO. 2014038388 OF THE OFFICIAL RECORDS OF WILLIAMSON COUNTY, TEXAS DO HEREBY CONSENT TO THE SUBDIVISION OF THAT CERTAIN 4.394 ACRE TRACT OF LAND SITUATED IN THE CITY OF ROUND ROCK, WILLIAMSON COUNTY, TEXAS, AND DO FURTHER HEREBY JOIN, APPROVE, AND CONSENT TO THE PUBLIC FOREVER USE OF THE STREETS, ALLEYS, EASEMENTS AND ALL OTHER LANDS INTENDED FOR PUBLIC DEDICATION AS SHOWN HEREON.

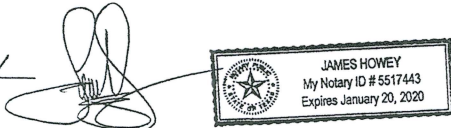
Austin Telco Federal Credit Union
AUSTIN TELCO FEDERAL CREDIT UNION

THE STATE OF TEXAS §
COUNTY OF FRANKS §

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE 15th DAY OF March
2017, BY, Anthony Rawls

NOTARY PUBLIC, STATE OF TEXAS

PRINTED NAME: James Howey
MY COMMISSION EXPIRES: 1/20/2020



THE STATE OF TEXAS §
COUNTY OF WILLIAMSON §

THAT I, DANIEL M. FLAHERTY, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE ON-THE-GROUND SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH CHAPTER 36, SUBDIVISIONS, CODE OF ORDINANCES, CITY OF ROUND ROCK, 2010 EDITION AS AMENDED.

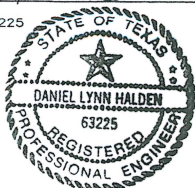
Daniel M. Flaherty 03/06/17
DANIEL M. FLAHERTY
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5004
DATE



THE STATE OF TEXAS §
COUNTY OF WILLIAMSON §

THAT I, DANIEL L. HALDEN, P.E., CERTIFY THAT THE INFORMATION CONTAINED ON THIS PLAT COMPLIES WITH CHAPTER 36, SUBDIVISIONS, CODE OF ORDINANCES, CITY OF ROUND ROCK, 2010 EDITION AS AMENDED, EXCEPT WHERE MODIFICATIONS HAVE BEEN ADOPTED BY THE ROUND ROCK CITY COUNCIL THROUGH RESOLUTION R-05-06-23-14G1, AND, THE DESIGN AND CONSTRUCTION STANDARDS ADOPTED BY THE CITY OF ROUND ROCK, TEXAS.

Daniel Lynn Halden 3/6/17
DANIEL L. HALDEN
LICENSED PROFESSIONAL ENGINEER NO. 63225
DATE



APPROVED THIS _____ DAY OF _____, 201____, BY THE CITY PLANNING AND ZONING COMMISSION OF THE CITY OF ROUND ROCK, TEXAS, AND AUTHORIZED TO BE FILED FOR RECORD BY THE COUNTY CLERK OF WILLIAMSON COUNTY, TEXAS.

DAVID PAVLISKA, CHAIRMAN

THE STATE OF TEXAS §
COUNTY OF WILLIAMSON §

THAT I, NANCY RISTER, CLERK OF THE COUNTY COURT OF SAID COUNTY, DO HEREBY CERTIFY THAT THE FOREGOING INSTRUMENT IN WRITING, WITH ITS CERTIFICATION OF AUTHENTICATION, WAS FILED FOR RECORD IN MY OFFICE ON THE _____ DAY OF _____ A.D., 201____, AT _____ O'CLOCK _____ M. AND DULY RECORDED ON THE _____ DAY OF _____ A.D., 201____ AT _____ O'CLOCK _____ M. IN THE PLAT RECORDS OF SAID COUNTY, IN DOCUMENT NO. _____

WITNESS MY HAND AND SEAL OF THE COUNTY COURT OF SAID COUNTY, AT OFFICE IN GEORGETOWN, TEXAS, THE DATE LAST ABOVE WRITTEN.

NANCY RISTER, CLERK, COUNTY COURT
WILLIAMSON COUNTY, TEXAS

BY: _____
DEPUTY

DESCRIPTION

BEING A 7.29 ACRE TRACT OF LAND SITUATED IN THE P. A. HOLDER SURVEY, ABSTRACT NO. 297, WILLIAMSON COUNTY, TEXAS; SAID 7.29 ACRE TRACT ALSO BEING ALL OF LOTS 4 AND 5, BLOCK A, JOYCE LANE SUBDIVISION, FILED ON NOVEMBER 2, 2006 AND RECORDED IN CABINET CC, SLIDES 237 - 239 OF THE PLAT RECORDS OF WILLIAMSON COUNTY, TEXAS (P.R.W.C.T.); SAID 7.29 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a 1/2" inch iron rod found marking the common northwest corner of said Lot 4 and the herein described tract, same marking the northeast corner of Lot 32, Block B, South Creek Section 21, filed on December 30, 1997, and recorded in Cabinet P, Slides 138 - 139, P.R.W.C.T., lying on the south line Lot 21, Block A, South Creek Section Sixteen (Amended), filed on May 5, 1986 and recorded in Cabinet H, Slides 157 - 158, P.R.W.C.T.;

THENCE North 80° 51' 20" East, with the common north line of said Lot 4 and in part with the south line of said Block A, South Creek Section Sixteen (Amended) and the south line of a called 2.778 acre drainage channel, South Creek Section Fifteen (Amended), filed on May 5, 1986 and recorded in Cabinet H, Slides 155 - 156, P.R.W.C.T., a distance of 159.66 feet to a 1/2" iron rod found for an angle point of the herein described tract;

THENCE North 87° 31' 56" East, in part with the common north line of said Lots 4 and 5 and the south line of said 2.778 acre drainage channel, a distance of 315.32 feet to a 1/2" iron rod with orange cap stamped "Austin Surveyors" found for the common southeast corner of said 2.778 acre drainage channel and the southwest corner of Lot 7, Block A, Ray Berglund Boulevard Subdivision Section Two, filed August 15, 2007 and recorded in Cabinet DD, Slides 291 - 296, P.R.W.C.T., also marking an angle point of the herein described tract;

THENCE North 69° 12' 37" East, with the common north line of said Lot 5 and the south line of said Lot 7, a distance of 193.98 feet to a 1/2" iron rod with orange cap stamped "Wallace Group" set for the common northeast corner of said Lot 5 and the herein described tract, same marking the common angle point on the southeast line of said Lot 7 and the west corner of Lot 6, Block A, of said Ray Berglund Boulevard Subdivision Section Two;

THENCE South 31° 33' 24" East, with the common east line of said Lot 5 and the west line of said Block A, Ray Berglund Boulevard Subdivision Section Two, a distance of 379.72 feet to calculated point in the creek marking the common east corner said Lot 5 and the herein described tract, same marking the common southwest corner of Lot 5, Block A, of said Ray Berglund Boulevard Subdivision Section Two, the northwest corner of Lot 4, Block A, of said Ray Berglund Boulevard Subdivision Section Two, and the northeast corner of Lot 6, Block A, of said Joyce Lane Subdivision;

THENCE South 68° 22' 19" West, with the common south line of said Lot 5, Block A, Joyce Lane Subdivision and the north line of said Lot 6, Block A, Joyce Lane Subdivision, a distance of 340.58 feet to a 1/2" iron rod with orange cap stamped "Austin Surveyors" found marking the common south corner said Lot 5, Block A, Joyce Lane Subdivision and the northwest corner of said Lot 6, Block A, Joyce Lane Subdivision, lying on the east right-of-way line of Joyce Lane (50 foot right-of-way width), same marking a point for the start of a curve to the left;

THENCE with in part with the common south line of said Lots 5 and 4 and the north right-of-way line of said Joyce Lane, the following two (2) courses:

- 1) in a southwesterly direction, with the start of a curve to the left, having a radius of 50.00 feet, an arc length of 184.47 feet, a central angle of 211° 23' 30", and a chord with bearing and distance of South 53° 05' 26" West - 96.27 feet to a 1/2-inch iron rod found for a point of reverse curvature of the herein described tract;
- 2) in a southeasterly direction, with the start of a curve to the right, having a radius of 20.00 feet, an arc length of 6.47 feet, a central angle of 18° 32' 51", and a chord with bearing and distance of South 41° 18' 29" East - 6.45 feet to a 1/2" iron rod with orange cap stamped "Austin Surveyors" found for the common southeast corner of said Lot 4, Block A, Joyce Lane Subdivision and the northeast corner of Lot 3, Block A, of said Joyce Lane Subdivision, for a point of cusp of the herein described tract;

THENCE with in part with the common south and west line of said Lot 4, Block A, Joyce Lane Subdivision and the east line of said Lot 32, the following two (2) courses:

- 1) South 87° 27' 25" West, a distance of 457.71 feet to a 1/2-inch iron rod found for a non-tangent point of curvature of the herein described tract;
- 2) in a northerly direction, with the start of a curve to the left, having a radius of 50.00 feet, an arc length of 35.65 feet, a central angle of 40° 51' 03", and a chord with bearing and distance of North 22° 26' 51" West - 34.90 feet to a 1/2" iron rod with yellow cap stamped "Chaparral 4995" found for a point of non-tangency of the herein described tract;
- 3) North 01° 02' 57" East, a distance of 392.08 feet to the POINT OF BEGINNING of the herein described tract, delineating and encompassing within the metes recited 7.29 acres of land, more or less.



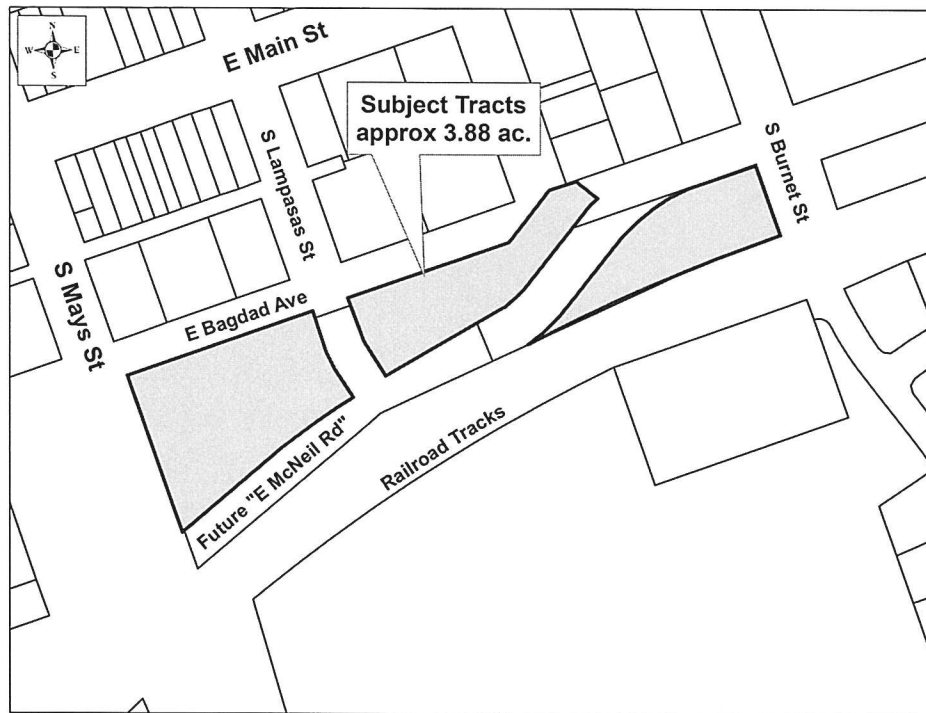
THE WALLACE GROUP
engineers architects surveyors
A CP&Y COMPANY

WACO KILLEEN DALLAS ROUND ROCK
1 Chisholm Trail, Suite 130, Round Rock, Texas 78681 | 512.248.0065
TBPE F-54 TBPLS 10051701

Proj. No. 24012	Sheet 2	C-1460
Date: 01-25-2017	2 of 2	
Drawing: 24012R-PLAT		
Scale: 1" = 100'		

The Depot Townhomes

ZONING ZON1703-002



CASE PLANNER: Brad Dushkin

REQUEST: Rezone from MU-1 (Mixed Use Historic Commercial Core) to Planned Unit Development #110 (The Depot Townhomes)

ZONING AT TIME OF APPLICATION: MU-1 (Mixed Use Historic Commercial Core)

DESCRIPTION: 3.88 acres out of the Wiley Harris Survey, Abstract No. 298

CURRENT USE OF PROPERTY: Vacant, formerly industrial

GENERAL PLAN LAND USE DESIGNATION: Downtown Mixed Use

ADJACENT LAND USE:

North: City hall, city parking garage, and office - zoned MU-1 (Mixed Use Historic Commercial Core)

South: Union Pacific Railroad right-of-way and city property across - zoned LI (Light Industrial)

East: South Burnet Street right-of-way, East Bagdad Avenue right-of-way, and a narrow strip of Union Pacific property - zoned LI

West: South Mays Street right-of-way (Immortal X Bridge)

PROPOSED LAND USE: Mixed-use residential - single-family townhomes with potential commercial/office uses on the ground floor

TOTAL ACREAGE: 3.88

Owner:
City of Round Rock
221 E Main St
Round Rock, TX 78664

Applicant
Urban Intown Homes
David Foor
1520 Olive St.
Houston, TX 77007

Agent
Waeltz & Prete
Antonio Prete
3000 Joe DiMaggio Blvd. #72
Round Rock, TX 78665

The Depot Townhomes ZONING ZON1703-002

HISTORY: This property was formerly the home of Builders Gypsum Supply, a light industrial use. City Council assisted the company's move from the site to another within the city to make this land available for a more appropriate use for downtown Round Rock. Council entered into a memorandum of understanding with Urban InTown Homes in June 2016 to develop approximately 82 townhomes on the site in an effort to bring more residents to the downtown area.

DATE OF REVIEW: April 5, 2017

LOCATION: East of S. Mays St., south of E. Bagdad Ave., and west of S. Burnet St.

STAFF REVIEW AND ANALYSIS:

Request: Rezone the property from MU-1 (Mixed Use Historic Commercial Core) to Planned Unit Development #110, to be known as The Depot Townhomes.

General Plan and Zoning: The General Plan Future Land Use Map designates the land as "Downtown Mixed Use" which permits a wide variety of commercial and residential uses on the same block, lot, or in the same building. The proposed use of townhomes with the potential for commercial/office uses mixed in is consistent with the General Plan. The current zoning of MU-1 does not permit townhomes and has a height limit of 3 stories, which are the primary reasons why PUD zoning is sought. The PUD development plan creates other standards which supplant base MU-1 zoning requirements.

Proposed PUD Standards: The standards contained within the PUD accommodate a type of project that will be new to Round Rock but which is consistent with high density residential development in an urban core. Some highlights include:

- Minimum lot width: 15 feet
- Maximum height: 4 stories
- Parking: 2 garage spaces per unit
- Access via private alleys
- Building design: primarily brick and/or natural stone, cantilevered balconies, large front windows, rooftop patios, decorative cornices

Interior units which do not have public street frontage will be addressed off the alley, and the front door for those units will face a common courtyard. To mitigate the noise created by trains traversing the adjacent railroad tracks, all windows will be double-paned and walls facing the tracks will be framed with 2"x6" lumber (as opposed to 2"x4") to allow for increased insulation.

Live/work units and upper story residential are permitted uses, allowing owners to convert the bottom floor (or bottom two floors) into commercial or office space. The nonresidential portion of these uses shall be regulated by the standards in the MU-L (Mixed Use Limited) zoning district, with the intent to permit small offices, artisanal workshops, studios, and boutique retail and food sales. Uses such as bars and concert venues are not permitted.

Most units will be attached in a row house form, but a few will be standalone or only be connected to one or two other units. Due to the unique nature of the site, city roadwork that will be ongoing, and other factors, safeguards are built in to the PUD to allow slight variations to the development standards without having to go through the PUD amendment process.

RECOMMENDED MOTION:

Staff recommends approval of Planned Unit Development #110 – The Depot Townhomes.



E Main St

Subject Tracts
approx 3.88 ac.

S Lampasas St

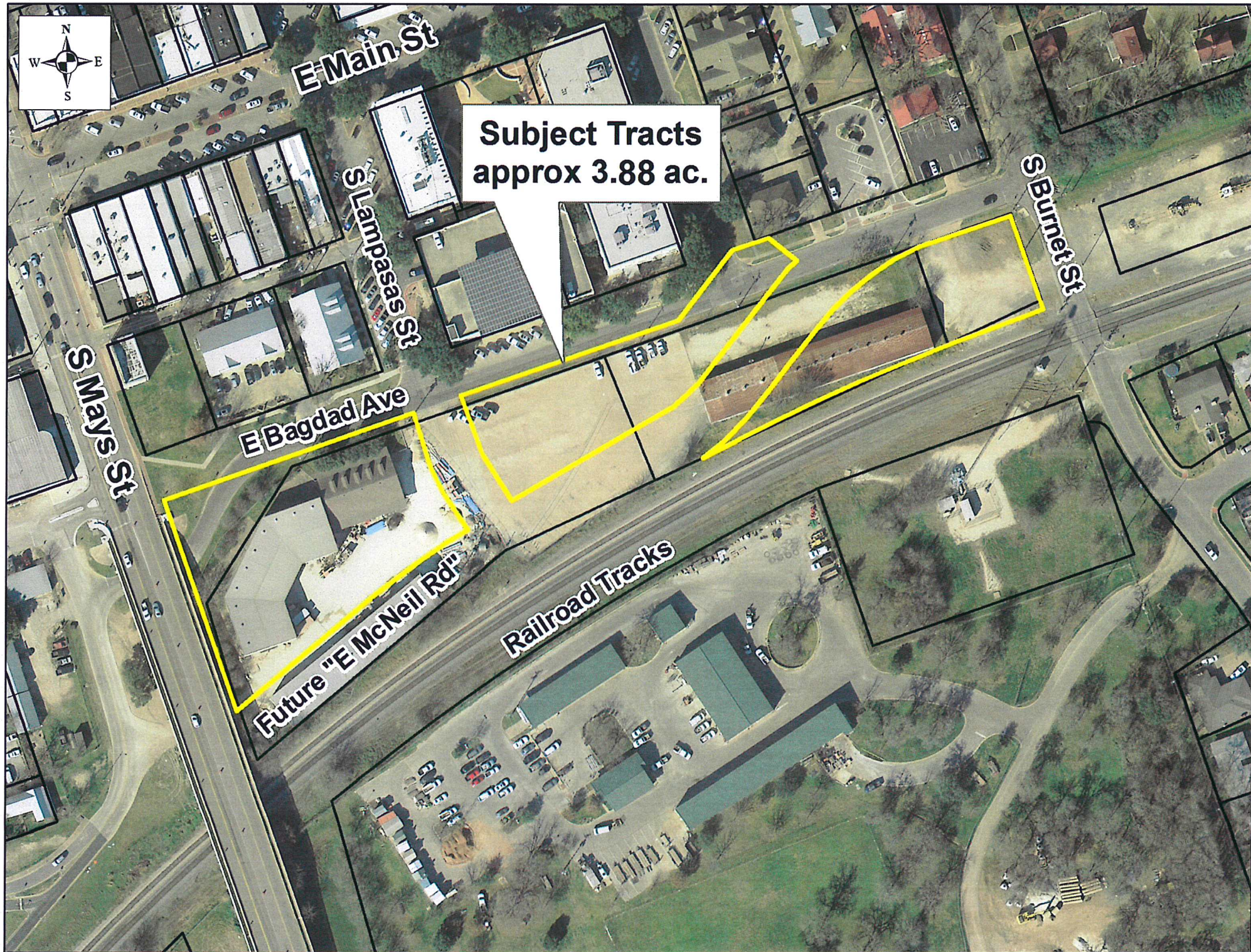
S Burnet St

S Mays St

E Bagdad Ave

Future "E McNeil Rd"

Railroad Tracks



**DEVELOPMENT PLAN
THE DEPOT
PLANNED UNIT DEVELOPMENT NO. 110**

**THE STATE OF TEXAS §
COUNTY OF WILLIAMSON §**

THIS DEVELOPMENT PLAN (this "Plan") is adopted and approved by the CITY OF ROUND ROCK, TEXAS (hereinafter referred to as the "City"). For purposes of this Plan, the term Owner shall mean Urban InTown Homes, their respective successors and assigns; provided, however, upon sale, transfer or conveyance of portions of the hereinafter described property, the duties and obligations of the Owner, as it relates to the respective property, shall be assumed by the new owner, and the Owner shall have no further liability relating to their respective property.

WHEREAS, the Owner is the owner of certain real property consisting of 3.88 acres, more or less, as more particularly described in **Exhibit "A"**, (herein after referred to as the "Property") attached hereto and made a part hereof; and

WHEREAS, the Owner has submitted a request to the City to rezone the Property as a Planned Unit Development (the "PUD"); and

WHEREAS, pursuant to the Code of Ordinances of the City of Round Rock (the "Code"), Section 46-106, the Owner has submitted Development Standards setting forth the development conditions and requirements within the PUD, which Development Standards are contained in Section II of this Plan; and

WHEREAS, the City has held two public hearings required by law to solicit input from all interested citizens and affected parties; and

WHEREAS, on the 5th day of April, 2017, the City's Planning and Zoning Commission recommended approval of the Owner's application for a PUD; and

WHEREAS, the City Council has reviewed the proposed Plan and determined that it promotes the health, safety, and general welfare of the citizens of Round Rock and that it complies with the intent of the Planned Unit Development Ordinance of the City;

NOW THEREFORE:

I.

GENERAL PROVISIONS

1. CONFORMITY WITH DEVELOPMENT STANDARDS

That all uses and development within the Property shall conform to the Development Standards included in Section II herein.

2. CHANGES AND MODIFICATIONS

No changes or modifications will be made to this Plan unless all provisions pertaining to changes or modifications as stated in Section II. 14. below are followed.

3. ZONING VIOLATION

Owner understands that any person, firm, corporation or other entity violating any conditions or terms of the Plan shall be subject to any and all penalties for the violation of any zoning ordinance provisions as stated in the Code, as amended.

4. MISCELLANEOUS PROVISIONS

4.1. Severability

In case one or more provisions contained of this Plan are deemed invalid, illegal or unenforceable in any respect such invalidity, illegality or unenforceability shall not affect any other provisions of this Plan and in such event, this Plan shall be construed as if such invalid, illegal or unenforceable provision had never been contained in this Plan.

4.2. Venue

All obligations of the Plan are performable in Williamson County, Texas, and venue for any action shall be in Williamson County.

4.3. Effective Date

This Plan shall be effective from and after the date of approval by the City Council.

II.

DEVELOPMENT STANDARDS

1. DEFINITIONS

Words and terms used herein shall have their usual force and meaning, or as defined in the City of Round Rock Code of Ordinances, as amended, City of Round Rock, Texas, hereinafter referred to as “the Code.”

2. PROPERTY

This Plan covers approximately 3.88 acres of land, located within the city limits of Round Rock, Texas, and more particularly described in **Exhibit “A”**.

3. PURPOSE

The purpose of this Plan is to ensure a PUD that 1) is equal to, superior than and/or more consistent than that which would occur under the standard ordinance requirements, 2) is in harmony with the General Plan, as amended, 3) does not have an undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utilities or any other matters affecting the public health, safety and welfare, 4) is adequately provisioned by essential public facilities and services, and 5) will be developed and maintained so as not to dominate, by scale or massing of structures, the immediate neighboring properties or interfere with their development or use.

4. APPLICABILITY OF CITY ORDINANCES

4.1. Zoning and Subdivision Ordinances

The Property shall be regulated for purposes of zoning and subdivision by this Plan. All aspects not specifically covered by this Plan shall be regulated by the **MU-1 (Mixed-Use Historic Commercial Core) zoning district** and other sections of the Code, as applicable, and as amended. If there is a conflict between this Plan and the Code, this Plan shall supersede the specific conflicting provisions of the Code.

4.2. Other Ordinances

All other Ordinances within the Code, as amended, shall apply to the Property, except as clearly modified by this Plan. In the event of a conflict, the terms of this Plan shall control.

5. PERMITTED USES

The following uses are permitted. Unless otherwise indicated, the definitions of all terms used to describe uses in this document shall be those found in the Zoning Code of the City of Round Rock, as amended. All uses not listed below are prohibited.

5.1 Single-family.

- A minimum of 70 single-family dwelling units are required.
- Dwelling units may be attached or detached.

5.2 Live/work and upper story residential.

- Live/work is permitted on any lot.
- Upper story residential is permitted only for lots with frontage on a public street.
- Any unit may have nonresident employees.
- The uses permitted in the nonresidential portion of any unit shall be restricted to the nonresidential uses permitted in the MU-L (Mixed Use – Limited) zoning district, with the following additional permitted uses: fitness studios and small animal grooming facilities (not to include small animal day care or boarding facilities).
- The nonresidential portion shall be confined to the ground floor and second floor.
- All units shall be constructed as a single-family dwelling unit. It shall be the responsibility of the owner of the unit to obtain the proper permits to convert residential space to nonresidential space.

6. DEVELOPMENT STANDARDS

6.1. Lots.

- Minimum lot width: 15 feet
- Lots may be platted and built without frontage on a public street. Such lots shall have access to a private alley.
- Public utility easements are not required along public streets adjacent to any lot.
- Lots are not required to be individually metered for water and wastewater service. Master meters shall be maintained by the homeowners association.

6.2. Setbacks.

- Minimum setback from street right-of-way: 0 feet
- Minimum setback from private alley: 0 feet
- Minimum side and rear setback: 0 feet
- Architectural features, including but not limited to chimneys, balconies, and cantilevers, may not project into the right-of-way more than 50% of the distance between the property line and the outside of the curb of the adjacent street. Any architectural feature projecting into the right-of-way shall be noted in a license agreement.
- The MU-1 frontage occupancy requirement shall not apply to any lot.

6.3. Height.

- No structure may exceed four stories in height.
- Chimneys, rooftop decks, and similar architectural features may exceed the maximum building height.

6.4. Building design and exterior materials.

- Building design and exterior materials shall generally conform to the renderings in Exhibit “C”, which depict natural stone and/or brick as the primary material with or without metal accents. Other materials shall be approved by the zoning administrator.
- Unfinished corrugated metal and exterior insulation finishing systems (EIFS) are prohibited.
- A minimum of one key architectural feature, such as but not limited to balconies, canopies/awnings, patios, or porches, shall be incorporated on all units fronting a public street.
- Side walls facing a public street are not required to meet the MU-1 orientation, articulation, or window standards, but are required to incorporate glazing and other architectural features to provide visual interest. No blank wall shall face a public street.
- Slight modifications to this section may be permitted by the zoning administrator to accommodate unique site constraints.

6.5. Parking.

- Each unit shall contain a two-car garage for resident parking. Garages may accommodate tandem parking.
- Garages shall not face a public street except for a maximum of two units near the southeast corner of the intersection of South Sheppard Street and East Bagdad Avenue.

- Guest parking and parking for patrons of non-residential uses may be accommodated by on-street parking where available. On-street parking spaces are prohibited from being reserved for private use.

6.6. Courtyards.

- Courtyards shall be incorporated throughout the site in any quantity and size. Courtyards are not required to be fenced.

6.7. Fire Code.

- All units shall contain a fully operational NFPA 13R sprinkler system in living areas, attics, and garages.
- The fire protection system shall be monitored by a third party and inspected annually.
- Two-hour fire walls shall be constructed between each unit.
- Aerial access requirements shall apply only for units along McNeil Road.
- Fire lanes shall maintain a minimum clearance of 13 feet and 6 inches.
- Spacing between fire hydrants shall not exceed 300 feet.
- Spacing between fire hydrants and fire department connections shall not exceed 100 feet.

6.8. Fencing.

- On-site fencing along any right-of-way shall be wrought-iron or similar decorative view fencing.

6.9. Mail delivery.

- Lots shall be served by neighborhood box units (NBU) for mail delivery. A minimum of one NBU shall be required for each block.

6.10. Noise mitigation.

- All walls facing the Union Pacific Railroad tracks to the south of the site shall be framed with 2-inch by 6-inch dimensional lumber to provide extra insulation for noise mitigation. All other walls may be framed with 2-inch by 4-inch lumber.
- All windows shall be double-paned.

6.11. Interior features.

- All units shall be constructed with upgraded finishes, such as but not limited to the

following: stainless steel or stone countertops, soft-close cabinetry, natural or engineered wood flooring, smart home automation, tankless water heaters, low-e windows, radiant barrier in attics, and mold and moisture resistant drywall that reduces VOCs to improve indoor air quality.

7. TRANSPORTATION

- 7.1. A traffic impact analysis is not required.
- 7.2. Private alleys shall serve each unit except for those units whose garages face a public street as noted in subsection 6.5.
- 7.3. Private alleys shall be a minimum of 26 feet wide, except for those serving three or fewer units, which may be a minimum of 20 feet wide.
- 7.4. Private alleys shall be named to allow for unique addressing of internal lots which do not have frontage on a public street. Alley names shall be approved by the city prior to recordation of the corresponding final plat.
- 7.5. No residential driveway shall access McNeil Road.

8. LANDSCAPING/SCREENING/SITE FURNITURE

- 8.1. Streetscape improvements shall match the downtown streetscape improvements installed by the city as part of the Southwest Downtown improvement project. Alternate materials or designs shall be approved by the transportation director.
- 8.2. Foundation treatment landscaping shall not be required for any unit.
- 8.3. Trash receptacles for each unit shall not be visible from any right-of-way.
- 8.4. Roof-mounted equipment shall be screened from public view by parapet walls or other screening mechanisms.
- 8.5. On-site and off-site retaining walls constructed by the developer shall have a decorative finish such as a limestone veneer and/or ornamental landscaping such as a living wall. All retaining walls and associated landscaping shall be maintained by the homeowners association and noted in a license agreement.
- 8.6. Site furniture, landscape planters, and similar decorative features may be placed in the right-of-way when part of an approved license agreement.
- 8.7. All sidewalks shall maintain a minimum width of 36" along accessible routes in accordance with the Americans with Disabilities Act.

9. SIGNS

- 9.1. Signs for the nonresidential portion of any unit shall be attached to the building and shall

not exceed 12 square feet. Other regulations shall be in accordance with Chapter 30 of the Code.

10. HOMEOWNERS ASSOCIATION AND COMMON AREA AGREEMENTS

- 10.1.** A private homeowners association shall be established for the maintenance of improvements constructed by the Owner, including but not limited to private alleys and driveways, retaining walls, sidewalks, private utilities, and fences.
- 10.2.** A common area agreement governing courtyards, alleys, and other common areas shall be recorded for each block prior to the recordation of the final plat for each block.

11. GENERAL PLAN 2020

This Development Plan amends the Round Rock General Plan 2020, which was adopted on July 22, 2010.

12. CONCEPT PLAN

This Plan serves as the Concept Plan required by Section 36-39 of the Code.

13. UNDERGROUND UTILITY SERVICE

Except where approved in writing by the zoning administrator, all electrical, telephone and cablevision distribution and service lines, other than overhead lines that are three phase or larger, shall be placed underground.

14. CHANGES TO DEVELOPMENT PLAN

14.1. Minor Changes

Minor changes to this Plan which do not substantially and adversely change this Plan may be approved administratively, if approved in writing, by the zoning administrator and the city attorney.

14.2. Major Changes

All changes not permitted under section 14.1 above shall be resubmitted following the same procedure required by the original PUD application.

LIST OF EXHIBITS

<u>EXHIBIT</u>	<u>DESCRIPTION</u>
Exhibit “A”	Property Description
Exhibit “B”	Concept Plan
Exhibit “C”	Building Design

DRAFT

METES AND BOUNDS DESCRIPTION

EXHIBIT 'A'

FOR A 3.887 ACRE TRACT OF LAND SITUATED IN THE WILEY HARRIS SURVEY, ABSTRACT NO. 298, WILLIAMSON COUNTY, TEXAS, BEING ALL OF THE CALLED 2.1355 ACRE TRACT OF LAND (TRACT I), ALL OF THE CALLED 0.8791 ACRE TRACT OF LAND (TRACT II) CONVEYED TO THE CITY OF ROUND ROCK, TEXAS, AS RECORDED IN DOCUMENT NO. 2013081105, OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS (O.P.R.W.C.T.), AND ALL OF THE CALLED 0.236 ACRE TRACT OF LAND CONVEYED TO THE CITY OF ROUND ROCK, TEXAS, RECORDED IN DOCUMENT NO. 2014022530, (O.P.R.W.C.T.), AND ALL OF THE CALLED 0.065 ACRE TRACT OF LAND CONVEYED TO THE CITY OF ROUND ROCK, TEXAS, RECORDED IN DOCUMENT NO. XXXXXXXX, (O.P.R.W.C.T.), AND BEING 0.540 ACRE TRACT OF LAND WITHIN THE RIGHT-OF-WAY OF E. BAGDAD AVENUE (80' RIGHT-OF-WAY WIDTH) PER CABINET A, SLIDE 190, PLAT RECORDS OF WILLIAMSON COUNTY, TEXAS, SAID 3.887 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at an iron rod found with aluminum cap stamped "CORR" on the southeast corner of said 0.236-acre CITY OF ROUND ROCK tract, same being on the southwest corner of a called 0.169 acre tract of land conveyed to the CITY OF ROUND ROCK, TEXAS, recorded in Document No. 2014022531, (O.P.R.W.C.T.), same being on a point in the curving northerly right-of-way line of the UNION PACIFIC RAILROAD, monumenting the southeast corner and **POINT OF BEGINNING** hereof;

THENCE with the southerly boundary line of said 0.236-acre CITY OF ROUND ROCK tract, same being with said northerly right-of-way line of the UNION PACIFIC RAILROAD with an arc of a **curve to the left** having a delta angle of **2°03'44"**, an arc length of **110.21 feet**, a radius of **3062.12 feet**, a chord which bears **S69°08'20"W** for a distance of **110.20 feet**, to an iron rod found with aluminum cap stamped "CORR", on the southwest corner of said 0.236-acre CITY OF ROUND ROCK tract, same being on the southeast corner of said 0.8791-acre CITY OF ROUND ROCK tract, monumenting the end of this curve hereof;

THENCE with the common boundary line of said 0.8791-acre CITY OF ROUND ROCK tract and said UNION PACIFIC RAILROAD (right-of-way) the following two (2) courses and distances:

1. with an arc of a **curve to the left** having a delta angle of **7°28'17"**, an arc length of **352.09 feet**, a radius of **2700.08 feet**, a chord which bears **S64°30'34"W** for a distance of **351.84 feet**, to an iron rod found, on the southwest corner of said 0.8791-acre CITY OF ROUND ROCK tract, monumenting an angle point hereof;
2. **N20°03'10"W** for a distance of **9.01 feet** to an "X" CUT FOUND in concrete, on the southeast corner of said 2.1355-acre CITY OF ROUND ROCK tract, monumenting an angle point hereof;

THENCE with the southerly boundary line of said 2.1355-acre CITY OF ROUND ROCK tract, same being with the northerly right-of-way line of said UNION PACIFIC RAILROAD the following three (3) courses and distances:

1. with an arc of a **curve to the left** having a delta angle of **6°58'38"**, an arc length of **329.86 feet**, a radius of **2708.78 feet**, a chord which bears **S57°20'36"W** for a distance of **329.66 feet**, to a calculated point, for an angle point hereof;
2. **S35°28'17"E** for a distance of **10.00 feet** to an iron rod found, monumenting an angle point hereof;
3. with an arc of a **curve to the left** having a delta angle of **4°18'59"**, an arc length of **203.31 feet**, a radius of **2698.78 feet**, a chord which bears **S51°42'34"W** for a distance of **203.26 feet**, to an iron rod found on the southwest corner of said 2.1355-acre CITY OF ROUND ROCK tract, same being on a point in the easterly right-of-way line of MAYS STREET (80' right-of-way width), monumenting the southwest corner hereof;

THENCE **N19°21'15"W** with the westerly boundary line of said 2.1355-acre CITY OF ROUND ROCK tract, same being with said easterly right-of-way line of MAYS STREET, for a distance of **201.10 feet** to a concrete monument found on the most westerly northwest corner of said 2.1355-acre CITY OF ROUND ROCK tract, same being on the southerly corner of said 0.065 acre CITY OF ROUND ROCK tract, monumenting a point in the westerly boundary line hereof;

THENCE **N19°21'15"W** with the westerly boundary line of said 0.065-acre CITY OF ROUND ROCK tract, continuing with said easterly right-of-way line of MAYS STREET, for a distance of **75.13 feet** to a calculated point, on the northwest corner of said 0.065-acre CITY OF ROUND ROCK tract, same being on a point in the existing southerly right-of-way line of said E. BAGDAD AVENUE, for a point in the westerly boundary line hereof;

THENCE through the interior of said E. BAGDAD AVENUE the following three (3) courses and distances:

1. **N19°21'15"W** for a distance of **25.53 feet** to an iron rod set with cap marked "Diamond Surveying", monumenting the northwest corner hereof;
2. **N70°34'59"E** for a distance of **286.85 feet** to an iron rod set with cap marked "Diamond Surveying", monumenting an angle point hereof;
3. **S19°25'01"E** for a distance of **26.20 feet** to an iron rod set with cap marked "Diamond Surveying", on a point in the northerly boundary line of said 2.1355-acre CITY OF ROUND ROCK tract, same being on a point in said existing southerly right-of-way line of E. BAGDAD AVENUE, monumenting an angle point hereof;

SHEET 1 OF 2

THENCE **N70°42'59"E** with said northerly boundary line of said 2.1355-acre CITY OF ROUND ROCK tract, same being with said existing southerly right-of-way line of E. BAGDAD AVENUE, for a distance of **56.00 feet** to an iron rod set with cap marked "Diamond Surveying", monumenting an angle point hereof;

THENCE through the interior of said E. BAGDAD AVENUE the following three (3) courses and distances:

1. **N19°25'01"W** for a distance of **26.33 feet** to an iron rod set with cap marked "Diamond Surveying", monumenting an angle point hereof;
2. **N70°34'59"E** for a distance of **248.39 feet** to an iron rod set with cap marked "Diamond Surveying", monumenting an angle point hereof;
3. **N38°10'16"E** for a distance of **98.69 feet** to an iron rod set with cap marked "Diamond Surveying", on a point in southerly terminus line of SHEPPARD STREET (80' right-of-way width) as recorded in said Cabinet A, Slide 190, for an angle point hereof;

THENCE **N70°42'59"E** with said southerly terminus line of SHEPPARD STREET, for a distance of **25.36 feet** to an iron rod set with cap marked "Diamond Surveying", on southeast corner of said SHEPPARD STREET right-of-way line, same being on a point in the northerly right-of-way line of said E. BAGDAD AVENUE, same being on the southwest corner of LOT 10, BLOCK 11 of said Cabinet A, Slide 190, monumenting a point in the northerly boundary line hereof;

THENCE **N70°42'59"E** with said northerly right-of-way line of E. BAGDAD AVENUE, same being with the southerly boundary line of said LOT 10, for a distance of **13.99 feet** to an iron rod set with cap marked "Diamond Surveying", monumenting an angle point hereof;

THENCE through the interior of said E. BAGDAD AVENUE the following three (3) courses and distances:

1. **S51°49'44"E** for a distance of **40.64 feet** to an iron rod set with cap marked "Diamond Surveying", monumenting an angle point hereof;
2. with an arc of a **curve to the left** having a delta angle of **5°53'43"**, an arc length of **34.16 feet**, a radius of **332.00 feet**, a chord which bears **S41°06'04"W** for a distance of **34.14 feet**, to an iron rod set with cap marked "Diamond Surveying", monumenting the end of this curve hereof;
3. **S38°09'12"W** for a distance of **53.64 feet** to an iron rod set with cap marked "Diamond Surveying", on a point in the northerly boundary line of said 0.8791-acre CITY OF ROUND ROCK tract, same being on a point in said existing southerly right-of-way line of E. BAGDAD AVENUE, monumenting an angle point hereof;

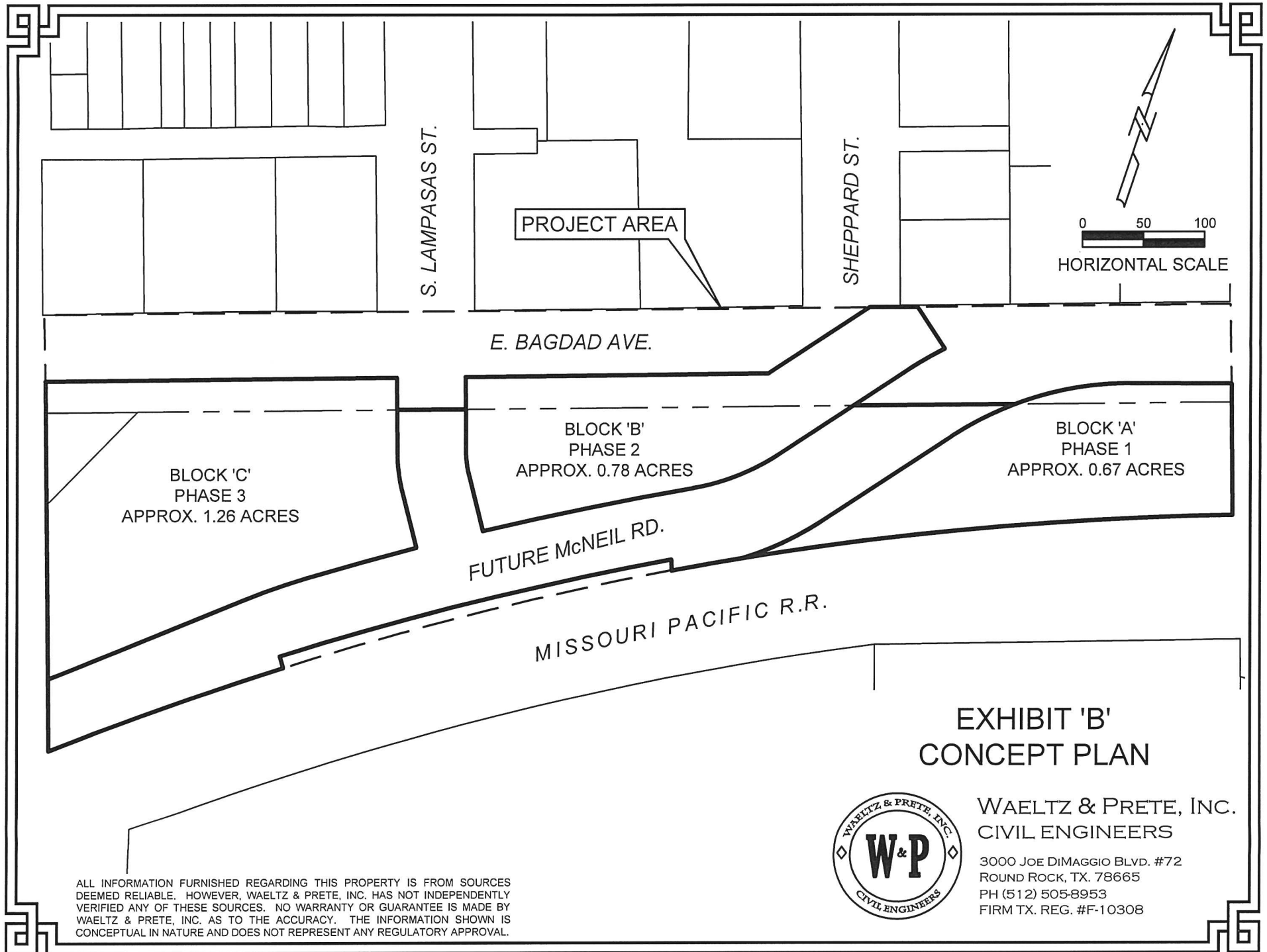
THENCE **N70°42'59"E** with said northerly boundary line of said 0.8791-acre CITY OF ROUND ROCK tract, same being with said existing southerly right-of-way line of E. BAGDAD AVENUE, for a distance of **132.69 feet** to an iron rod set with cap marked "Diamond Surveying", monumenting an angle point hereof;

THENCE through the interior of said E. BAGDAD AVENUE the following three (3) courses and distances:

1. with an arc of a **curve to the right** having a delta angle of **20°38'57"**, an arc length of **96.23 feet**, a radius of **267.00 feet**, a chord which bears **N61°04'04"E** for a distance of **95.71 feet**, to an iron rod set with cap marked "Diamond Surveying", monumenting the end of this curve hereof;
2. **N71°23'33"E** for a distance of **82.49 feet** to an iron rod set with cap marked "Diamond Surveying", monumenting the northeast corner hereof;
3. **S19°25'28"E** for a distance of **15.07 feet** to an iron rod found with aluminum cap stamped "CORR", on the northeast corner of said 0.236-acre CITY OF ROUND ROCK tract, same being on the northwest corner of said 0.169-acre CITY OF ROUND ROCK tract, monumenting a point in the easterly boundary line hereof;

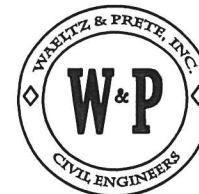
THENCE **S19°25'28"E** with the easterly boundary line of said 0.236-acre CITY OF ROUND ROCK tract, same being with the westerly boundary line of said 0.169-acre CITY OF ROUND ROCK tract, for a distance **92.11 feet** to the **POINT OF BEGINNING** hereof and containing 3.887 acres of land more or less.

BEARING BASIS: NAD-83, TEXAS CENTRAL (4203), STATE PLANE SYSTEM. All distances are surface distances. Combined Surface Adjustment Factor used for this survey is 0.99988784.



ALL INFORMATION FURNISHED REGARDING THIS PROPERTY IS FROM SOURCES DEEMED RELIABLE. HOWEVER, WAELTZ & PRETE, INC. HAS NOT INDEPENDENTLY VERIFIED ANY OF THESE SOURCES. NO WARRANTY OR GUARANTEE IS MADE BY WAELTZ & PRETE, INC. AS TO THE ACCURACY. THE INFORMATION SHOWN IS CONCEPTUAL IN NATURE AND DOES NOT REPRESENT ANY REGULATORY APPROVAL.

EXHIBIT 'B' CONCEPT PLAN



WAELTZ & PRETE, INC.
CIVIL ENGINEERS

3000 JOE DIMAGGIO BLVD. #72
ROUND ROCK, TX. 78665
PH (512) 505-8953
FIRM TX. REG. #F-10308

"C"



WAELTZ & PRETE, INC.
CIVIL ENGINEERS
3000 JOE DIMAGGIO BLVD. #72
ROUND ROCK, TX. 78665
PH (512) 505-8953
FIRM TX. REG. #F-10308

THIS DOCUMENT IS RELEASED
FOR THE PURPOSE OF
INTERIM REVIEW UNDER
THE AUTHORITY OF
ANTONIO A. PRETE,
P.E. # 93759 ON 7-4-89
IT IS NOT TO BE USED
FOR PERMITTING, BIDDING,
OR CONSTRUCTION.
(TEXAS STATE BOARD
OF REGISTRATION FOR
PROFESSIONAL ENGINEERS,
RULE 131.166(i))

PROJECT:

THE DEPOT
TOWNHOMES

CLIENT:

URBAN INTOWN HOMES

DESIGNED: AAP APPROVED: AAP
DRAWN: DAS DATE: 3/7/2017

[illegible]

SHEET TITLE:

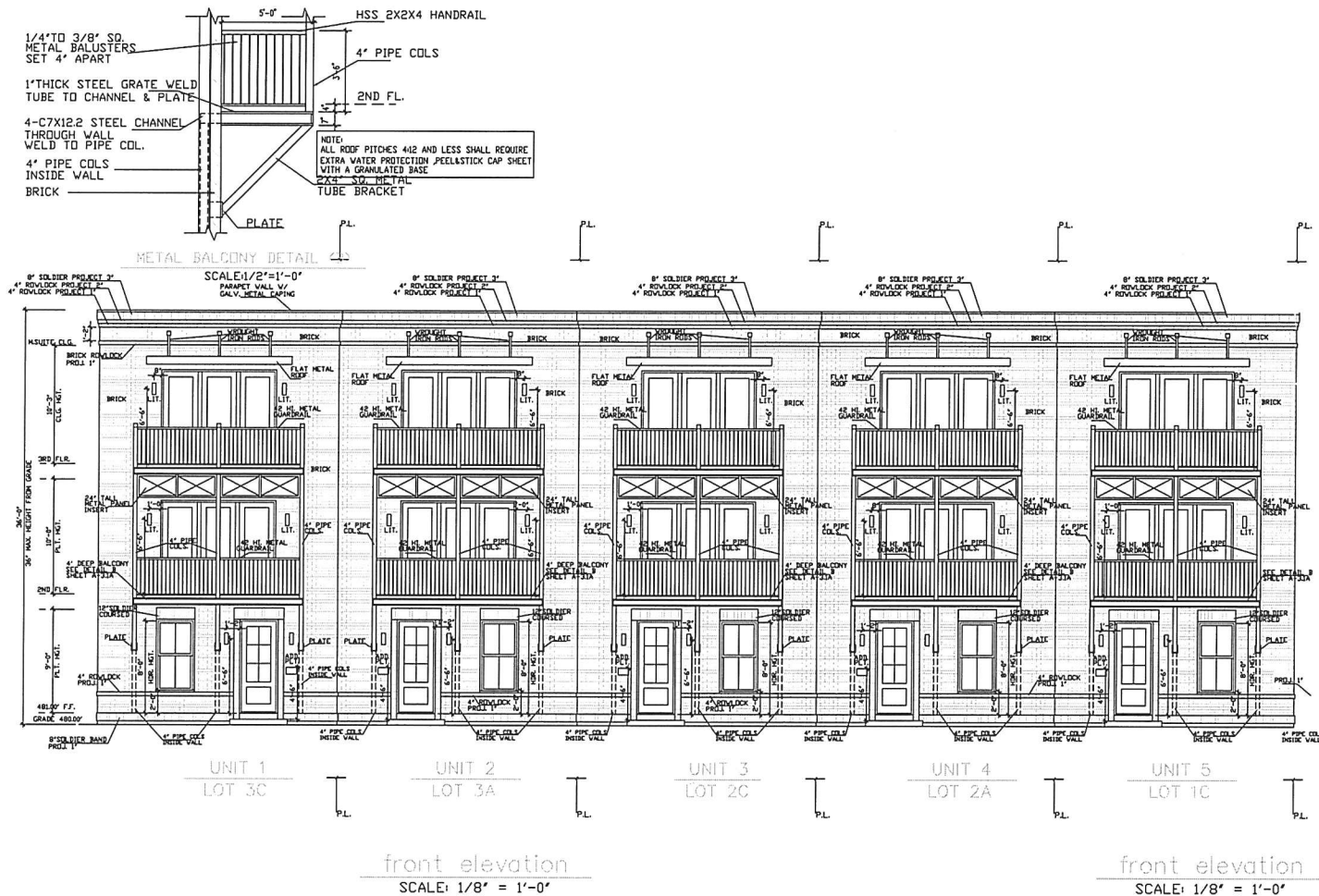
ARCHITECTURAL
ELEVATIONS (1 OF 3)

WP PROJECT NO.: 088-001

CORR PROJECT NO.:
SDPXXXX-XXXX

SHEET NO.:

C-11



TEXASINTOWNHOMES

FRONT ELEVATION

PLAN NO. 3	
UNIT 1	2291.2
UNIT 2	2257.3
UNIT 3	2289
UNIT 4	2257.4
UNIT 5	2289.1
UNIT 6	2518.2
SHEET NO.	
A-3.1A	

© OLIVER PLANS COPYRIGHT 2015

