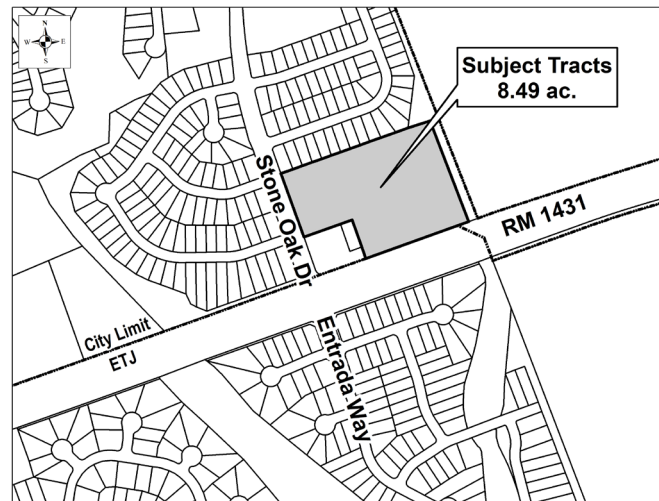


**Replat of Stone Oak at Round Rock Section 6, Lot 2 Subdivision  
FINAL PLAT FP2207-003**



**CASE PLANNER:** Caitlyn Reeves

**REQUEST:** The Replat request is to combine one existing platted lot with additional unplatted acreage to create one development lot.

**ZONING AT TIME OF APPLICATION:** TH (Townhouse)

**DESCRIPTION:** 8.49 acres out of the Ephraim Evans Survey, Abstract No. 212

**CURRENT USE OF PROPERTY:** Vacant and undeveloped - Zoned TH (Townhouse)

**COMPREHENSIVE PLAN LAND USE DESIGNATION:** Residential

**ADJACENT LAND USE:**

North: Stone Oak At Round Rock Subdivision - Zoned SF-2 (Single Family - Standard Lot)  
 South: RM 1431 ROW - Unzoned  
 East: Stone Oak at Round Rock Subdivision- Zoned SF-2 (Single Family - Standard Lot)  
 West: Stone Oak Drive ROW - Unzoned

**PROPOSED LAND USE:** Residential - Townhouse

<u>PROPOSED LOTS BY TYPE:</u>	<u>NUMBER OF LOTS</u>	<u>ACREAGE</u>
Residential - Single Unit:	0	0
Residential - Multi Unit:	1	8.49
Office:	0	0
Commercial:	0	0
Industrial:	0	0
Open/Common Space:	0	0
ROW:	0	0
Parkland:	0	0
Other:	0	0
<b>TOTALS:</b>	<b>1</b>	<b>8.49</b>
<b>Owner:</b> Blevco II, LLC Thomas C. Blevins 7144 Valburn Drive Austin, TX 78731	<b>Agent:</b> Kimley-Horn Sarah J. Mays, P.E. 10814 Jollyville Rd Bldg. IV, Ste 200 Austin, TX 78759	<b>Developer:</b> Bridge Tower Homes, LLC Adam Green 5430 LBJ Freeway Ste 1050 Dallas, TX 75240

**Replat of Stone Oak at Round Rock Section 6, Lot 2 Subdivision  
FINAL PLAT FP2207-003**

**HISTORY:** The Planning and Zoning Commission approved the original “Stone Oak at Round Rock Section 6, Lot 2” final plat on March 20, 2002. This Replat request is to combine one existing platted lot with additional unplatted acreage to create one development lot.

**DATE OF REVIEW:** August 17, 2022

**LOCATION:** Generally located north of RM 1431 and east of Stone Oak Dr.

**STAFF REVIEW AND ANALYSIS:**

Comprehensive Plan and Zoning: The Future Land Use Map of the Round Rock 2030 Comprehensive Plan designates this tract for residential use and is zoned TH (Townhouse). The TH zoning district allows for a maximum of 14-dwelling units per acre.

Traffic, Access, and Roads: The subject tract has frontage along Stone Oak Drive and RM 1431. Roadway Impact Fees (RIFs) will be required at the submittal of the building permit and will be assessed based on the date of final plat recordation.

Water and Wastewater Service: Water and wastewater service will be provided by the City of Round Rock. Water service will be provided via a connection to an existing 12-inch waterline along Stone Oak Drive. Wastewater service will be provided via a connection to an existing 8-inch wastewater line along Stone Oak Drive.

Drainage: A flood study (FLOOD2205-0003) was approved on June 10, 2022. The applicant intends to detain stormwater on-site, and the final location of proposed detention facilities will be determined at the site development permit stage.

**RECOMMENDED MOTION:**

Staff recommends approval with the following conditions:

1. Prior to recordation, revise the easement being dedicated to the City of Round Rock as “Storm Sewer and Drainage Easement”, not “Drainage, Storm and Sewer Easement.”
2. Prior to recordation, revise legend to include line types.





**Subject Tracts**  
**8.49 ac.**

**Stone Oak Dr**

**RM 1431**

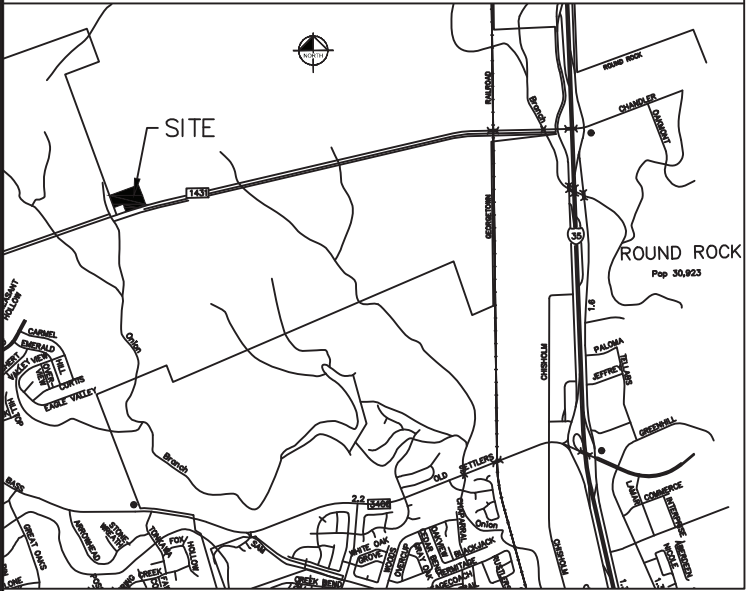
**City Limit**  
**ETJ**

**Entrada Way**



VICINITY MAP

NOT TO SCALE



OWNER:  
BLEVCO II, L.L.C., A TEXAS LIMITED LIABILITY COMPANY  
7144 VALBURN DRIVE, AUSTIN, TEXAS 78731  
CONTACT: THOMAS BLEVINS

ACREAGE: 8.492  
SURVEYOR:  
KIMLEY-HORN AND ASSOCIATES, INC.  
10101 REUNION PLACE, SUITE 400  
SAN ANTONIO, TEXAS 78216  
TBPLS FIRM REGISTRATION NO. 10193973  
CONTACT: JOHN G. MOSIER, R.P.L.S.

NUMBER OF BLOCKS: 1  
LINEAR FEET OF NEW STREETS: N/A  
SUBMITTAL DATE: 7/19/2022  
DATE OF PLANNING AND ZONING COMMISSION REVIEW:  
8/17/2022  
BENCHMARK DESCRIPTION & ELEVATION WITH VERTICAL  
DATUM AND GEOID:  
DATUM: VERTICAL DATUM: NAVD'88 (GEOID 12A)

TBM #101 "MAG NAIL W/WASHER" SET ON THE  
NORTHEASTERLY CORNER OF CURB INLET AND ON THE  
EASTERLY SIDE OF STONE OAK DRIVE ±640' NORTH OF F.M. 1431.  
ELEVATION = 879.94 FEET.

TBM #101 "MAG NAIL W/WASHER" SET ON THE BACK OF CURB  
AT THE NORTH END OF MEDIAN IN CENTER LINE OF STONE OAK  
DRIVE ±295' NORTH OF F.M. 1431.  
ELEVATION = 872.18 FEET.

ACREAGE BY LOT TYPE: 8.492 ACRES OF DEVELOPMENT  
PATENT SURVEY: EPHRAIM EVANS SURVEY, ABSTRACT NO. 212,  
CITY OF ROUND ROCK, WILLIAMSON COUNTY, TEXAS.  
ENGINEER:  
KIMLEY-HORN AND ASSOCIATES, INC.  
10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 200  
AUSTIN, TEXAS 78759  
TBPE FIRM NO. 928  
CONTACT: SARAH J. MAYS, P.E.  
NUMBER OF LOTS BY TYPE: 1 DEVELOPMENT LOT

GENERAL NOTES:

- BUILDING SETBACKS SHALL BE ACCORDANCE WITH PART III, ZONING AND DEVELOPMENT CODE, CHAPTER 2, ZONING DISTRICTS AND USE REGULATIONS, CITY OF ROUND ROCK, TEXAS, 2018, AS AMENDED.
- SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH PART III, ZONING AND DEVELOPMENT CODE, SECTION 6-26, CITY OF ROUND ROCK, TEXAS, 2018, AS AMENDED.
- NO PORTION OF THIS TRACT IS ENCRoACHED BY ANY SPECIAL FLOOD HAZARD AREAS INUNDATED BY THE 1% ANNUAL CHANCE FLOOD AS IDENTIFIED BY THE U.S. FEDERAL EMERGENCY MANAGEMENT AGENCY BOUNDARY MAP (FLOOD INSURANCE RATE MAP) COMMUNITY PANEL NUMBER 48491C0486F, EFFECTIVE DATE DECEMBER 20, 2019, FOR WILLIAMSON COUNTY.
- A PORTION OF THIS TRACT IS ENCRoACHED BY THE ULTIMATE 1% ANNUAL CHANCE FLOODPLAIN PER FLOODPLAIN STUDY PREPARED BY KIMLEY-HORN DATED MAY 20, 2022 AND ACCEPTED BY CITY OF ROUND ROCK ON JUNE 6, 2022. NO FENCES, STRUCTURES, STORAGE, OR FILL SHALL BE PLACED WITHIN THE LIMITS OF THE ULTIMATE 1% ANNUAL CHANCE FLOODPLAIN; UNLESS APPROVED BY THE CITY ENGINEER. FILL MAY ONLY BE PERMITTED BY THE CITY ENGINEER AFTER APPROVAL OF THE PROPER ANALYSIS. ALL SLAB ELEVATIONS SHALL BE A MINIMUM OF TWO (2) FEET ABOVE THE ULTIMATE 1% ANNUAL CHANCE FLOODPLAIN.
- NO OBSTRUCTIONS, INCLUDING BUT NOT LIMITED TO FENCING OR STORAGE, SHALL BE PERMITTED IN ANY DRAINAGE EASEMENTS SHOWN HEREON.
- WITH THE EXCEPTION OF PROPERTIES LOCATED WITHIN THE MU-1 AND MU-2 ZONING DISTRICTS, A TEN-FOOT (10') PUE AND SIDEWALK EASEMENT ABUTTING AND ALONG THE STREET SIDE PROPERTY LINE IS HEREBY DEDICATED FOR ALL STREET SIDE PROPERTY LOTS SHOWN HEREON.
- ALL SLAB ELEVATIONS SHALL BE A MINIMUM OF TWO (2) FEET ABOVE THE ULTIMATE 1% ANNUAL CHANCE FLOODPLAIN.

EASEMENT NOTES:

THE PERPETUAL EASEMENT, RIGHT-OF-WAY, RIGHTS, AND PRIVILEGES HEREIN GRANTED SHALL BE USED FOR THE PURPOSES OF LOCATION, PLACEMENT, RELOCATION, CONSTRUCTION, OPERATION, ENLARGEMENT, MAINTENANCE, ALTERATION, REPAIR, REBUILDING, REMOVAL, AND PATROL OF UTILITIES AND ASSOCIATED FACILITIES INCLUDING BUT NOT LIMITED TO: PIPES, VALVES, VAULTS, MANHOLES, CHANNELS, INLETS, STRUCTURES, ACCESS FACILITIES, CONDUITS, APPURTENANCES, AND ANY NECESSARY ACCESSORIES THERETO (COLLECTIVELY THE "FACILITIES").

THIS CONVEYANCE IS MADE AND ACCEPTED SUBJECT TO ANY AND ALL CONDITIONS AND RESTRICTIONS, IF ANY, RELATING TO THE HEREINABOVE DESCRIBED PROPERTY TO THE EXTENT, AND ONLY TO THE EXTENT, THAT THE SAME MAY STILL BE IN FORCE AND EFFECT AND SHOWN OF RECORD IN THE OFFICE OF THE COUNTY CLERK OF WILLIAMSON COUNTY, TEXAS OR TRAVIS COUNTY, TEXAS.

EXCEPT AS OTHERWISE NOTED, THE EASEMENT, RIGHTS, AND PRIVILEGES HEREIN GRANTED SHALL BE PERPETUAL, PROVIDED HOWEVER THAT SAID EASEMENT, RIGHTS, AND PRIVILEGES SHALL CEASE AND REVERT TO GRANTORS IN THE EVENT THE UTILITIES ARE ABANDONED OR SHALL CEASE TO BE IN OPERATION, FOR A PERIOD OF FIVE (5) CONSECUTIVE YEARS.

THE PERPETUAL EASEMENT, RIGHT-OF-WAY, RIGHTS, AND PRIVILEGES GRANTED HEREIN ARE EXCLUSIVE, AND GRANTOR COVENANTS NOT TO CONVEY ANY OTHER EASEMENT OR CONFLICTING RIGHTS WITHIN THE PREMISES COVERED BY THIS GRANT, WITHOUT THE EXPRESS WRITTEN CONSENT OF GRANTEE, WHICH CONSENT SHALL NOT BE UNREASONABLY WITHHELD. GRANTEE SHALL HAVE THE RIGHT TO REVIEW ANY PROPOSED EASEMENT OR CONFLICTING USE TO DETERMINE THE EFFECT, IF ANY, ON THE FACILITIES CONTEMPLATED HEREIN. PRIOR TO GRANTING ITS CONSENT FOR OTHER EASEMENTS, GRANTEE MAY REQUIRE REASONABLE SAFEGUARDS TO PROTECT THE INTEGRITY OF THE FACILITIES THEREON.

GRANTOR FURTHER GRANTS TO GRANTEE:

- THE RIGHT TO INSTALL ADDITIONAL FACILITIES ON THE EASEMENT TRACT;
- THE RIGHT TO GRADE THE EASEMENT FOR THE FULL WIDTH THEREOF AND TO EXTEND THE CUTS AND FILLS FOR SUCH GRADING INTO AND ONTO THE LAND ALONG AND OUTSIDE THE EASEMENT TO SUCH EXTENT AS GRANTEE MAY FIND REASONABLY NECESSARY;
- THE RIGHT OF INGRESS TO AND EGRESS FROM THE EASEMENT OVER AND ACROSS GRANTOR'S PROPERTY BY MEANS OF ROADS AND LANES THEREON, IF SUCH EXIST; OTHERWISE BY SUCH ROUTE OR ROUTES AS SHALL OCCASION THE LEAST PRACTICABLE DAMAGE AND INCONVENIENCE TO GRANTOR; PROVIDED THAT SUCH RIGHT OF INGRESS AND EGRESS SHALL NOT EXTEND TO ANY PORTION OF GRANTOR'S PROPERTY WHICH IS ISOLATED FROM THE EASEMENT BY ANY PUBLIC HIGHWAY OR ROAD NOW CROSSING OR HEREAFTER CROSSING THE PROPERTY; THE FOREGOING RIGHT OF INGRESS AND EGRESS INCLUDES THE RIGHT OF THE GRANTEE AND ASSIGNED EMPLOYEES OF GRANTEE TO DISASSEMBLE, REMOVE, TAKE DOWN, AND CLEAR AWAY ANY FENCE, BARRICADE, OR OTHER STRUCTURE WHICH OBSTRUCTS, PREVENTS, OR HINDERS GRANTEE'S INGRESS TO AND EGRESS FROM THE GRANTOR'S PROPERTY, AND SHOULD GRANTEE DEEM IT NECESSARY TO SO DISASSEMBLE, REMOVE, TAKE DOWN, OR CLEAR AWAY ANY SUCH FENCE, BARRICADE, OR OTHER STRUCTURE, GRANTEE SHALL, AS SOON AS IS REASONABLY FEASIBLE, REPLACE OR RESTORE GRANTOR'S PROPERTY TO AS SIMILAR A CONDITION AS REASONABLY PRACTICABLE AS EXISTED IMMEDIATELY PRIOR TO GRANTEE'S ACTIONS PURSUANT TO THIS PROVISION, UNLESS SAID FENCE, BARRICADE, OR OTHER STRUCTURE IS INCONSISTENT WITH THE RIGHTS CONVEYED TO GRANTEE HEREIN;
- THE RIGHT OF GRADING FOR, CONSTRUCTION, MAINTAINING AND USING SUCH ROADS ON AND ACROSS THE PROPERTY AS GRANTEE MAY DEEM NECESSARY IN THE EXERCISE OF THE RIGHT OF INGRESS AND EGRESS OR TO PROVIDE ACCESS TO PROPERTY ADJACENT TO THE EASEMENT;
- THE RIGHT FROM TIME TO TIME TO TRIM AND TO CUT DOWN AND CLEAR AWAY ANY AND ALL TREES AND BRUSH NOW OR HEREAFTER ON THE EASEMENT AND TO TRIM AND TO CUT DOWN AND CLEAR AWAY ANY TREES ON EITHER SIDE OF THE EASEMENT WHICH NOW OR HEREAFTER IN THE OPINION OF GRANTEE MAY BE A HAZARD TO ANY PIPELINE; VALVES, APPLIANCES, FITTINGS, OR OTHER IMPROVEMENTS BY REASON OF THE DANGER OF FALLING THEREON OR ROOT INFILTRATION THEREIN, OR WHICH MAY OTHERWISE INTERFERE WITH THE EXERCISE OF GRANTEE'S RIGHTS HEREUNDER; PROVIDED HOWEVER, THAT ALL TREES WHICH GRANTEE IS HEREBY AUTHORIZED TO CUT AND REMOVE, IF VALUABLE FOR TIMBER OR FIREWOOD, SHALL CONTINUE TO BE THE PROPERTY OF GRANTOR, BUT ALL TOPS, LOPS, BRUSH AND REFUSE WOOD SHALL BE BURNED OR REMOVED BY GRANTEE;
- THE RIGHT TO MARK THE LOCATION OF THE EASEMENT BY SUITABLE MARKERS SET IN THE GROUND; PROVIDED THAT SUCH MARKERS SHALL BE PLACED IN FENCES OR OTHER LOCATIONS WHICH WILL NOT INTERFERE WITH ANY REASONABLE USE GRANTOR SHALL MAKE OF THE EASEMENT;

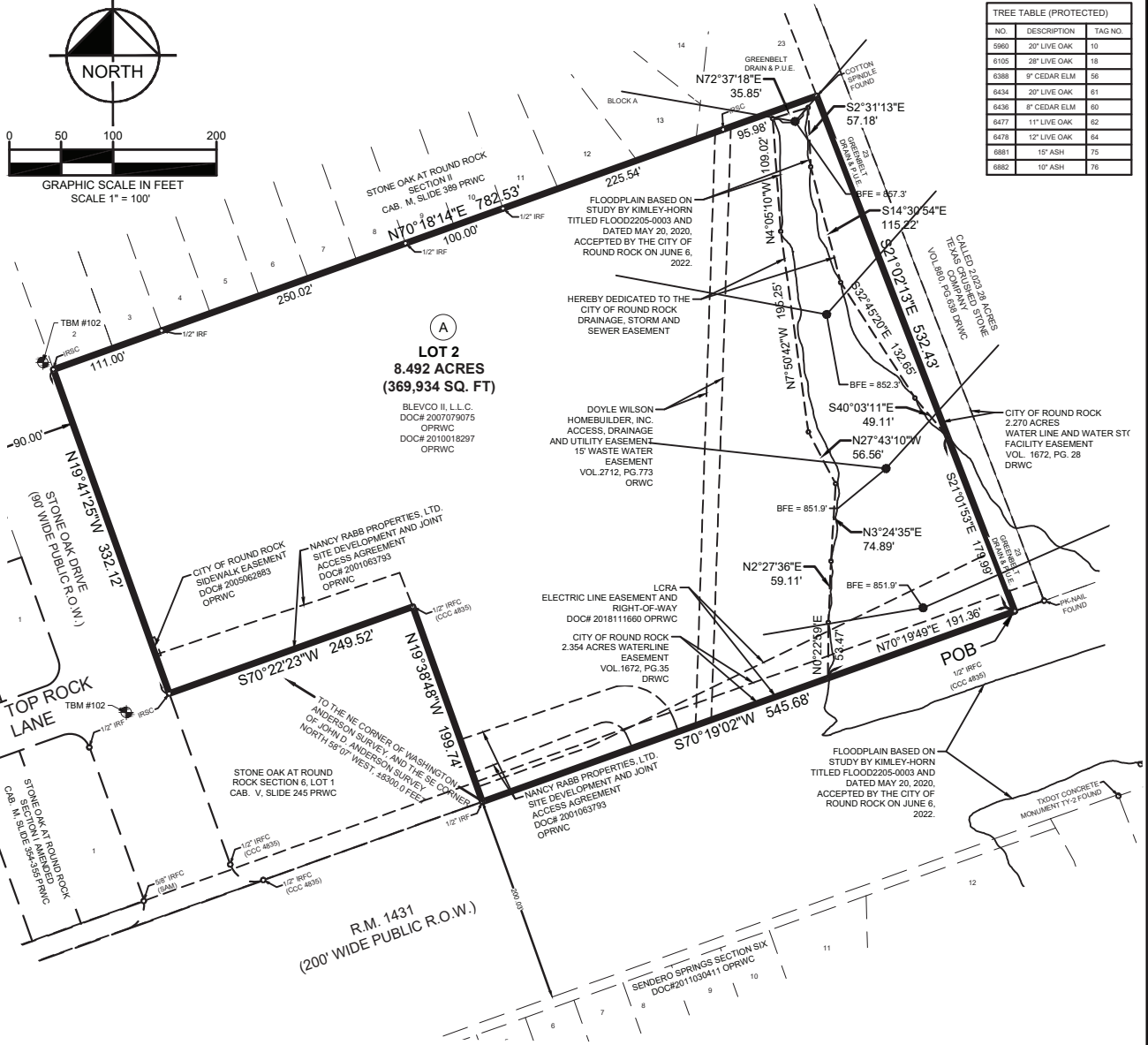
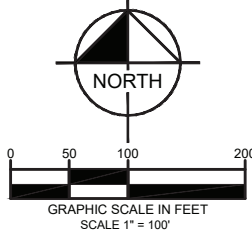
GRANTEE HEREBY COVENANTS AND AGREES:

- GRANTEE SHALL NOT FENCE THE EASEMENT;
- GRANTEE SHALL PROMPTLY BACKFILL ANY TRENCH MADE BY IT ON THE EASEMENT AND REPAIR ANY DAMAGE IT SHALL DO TO GRANTORS PRIVATE ROADS OR LANES ON THE LANDS;
- TO THE EXTENT ALLOWED BY LAW, GRANTEE SHALL INDEMNIFY GRANTOR AGAINST ANY LOSS AND DAMAGE WHICH SHALL BE CAUSED BY THE EXERCISE OF THE RIGHTS OF INGRESS AND EGRESS OR BY ANY WRONGFUL OR NEGLIGENT ACT OR OMISSION OF GRANTEE'S AGENTS OR EMPLOYEES IN THE COURSE OF THEIR EMPLOYMENT.

IT IS UNDERSTOOD AND AGREED THAT ANY AND ALL EQUIPMENT PLACED UPON SAID PROPERTY SHALL REMAIN THE PROPERTY OF GRANTEE.

GRANTOR HEREBY DEDICATES THE EASEMENT FOR THE PURPOSES STATED HEREIN.

TO HAVE AND TO HOLD THE RIGHTS AND INTERESTS DESCRIBED UNTO GRANTEE AND ITS SUCCESSORS AND ASSIGNS, FOREVER, TOGETHER WITH ALL AND SINGULAR ALL USUAL AND CUSTOMARY RIGHTS THERETO IN ANYWISE BELONGING, AND TOGETHER WITH THE RIGHT AND PRIVILEGE AT ANY AND ALL TIMES TO ENTER SAID PREMISES, OR ANY PART THEREOF, FOR THE PURPOSE OF CONSTRUCTING OR MAINTAINING SAID UTILITIES AND FOR MAKING CONNECTIONS THEREWITH, AND GRANTOR DOES HEREBY BIND ITSELF, ITS SUCCESSORS AND ASSIGNS AND LEGAL REPRESENTATIVES, TO WARRANT AND FOREVER DEFEND, ALL AND SINGULAR, THE SAID EASEMENT AND RIGHTS AND INTERESTS UNTO THE CITY OF ROUND ROCK, TEXAS, ITS SUCCESSORS AND ASSIGNS, AGAINST EVERY PERSON WHOMSOEVER LAWFULLY CLAIMING OR TO CLAIM THE SAME OR ANY PART THEREOF.



REPLAT CONFIGURATION

BENCH MARK LIST

TBM #101 "MAG NAIL W/WASHER" SET ON THE  
NORTHEASTERLY CORNER OF CURB INLET  
AND ON THE EASTERLY SIDE OF STONE OAK  
DRIVE ±640' NORTH OF F.M. 1431.  
ELEVATION = 879.94 FEET.

TBM #102 "MAG NAIL W/WASHER" SET ON THE  
BACK OF CURB AT THE NORTH END OF MEDIAN  
IN CENTER LINE OF STONE OAK DRIVE ±295'  
NORTH OF F.M. 1431.  
ELEVATION = 872.18 FEET.

DATUM: NAV'88 (GEOID 12A)

SURVEYOR'S NOTES:

- All corners of the platted lots in the subdivision will be monumented with 1/2-inch iron rods with a plastic cap stamped "KHA", unless otherwise noted.
- The bearings shown hereon are based on the Texas State Plane Coordinate System Surface, Central Zone (FIPS 4203) (NAD83), as determined by the Global Positioning System (GPS). All distances shown hereon are on the SURFACE. To convert SURFACE distances to the GRID, apply the combined SURFACE to GRID scale factor of 0.9998800144. The unit of linear measurement is U.S. Survey Feet.
- The precision closure for the boundary of the re-plat is 1:426,132.26 which is within the minimum standards set forth by the Texas Board of Professional Land Surveying.

TREE TABLE (PROTECTED)		
NO.	DESCRIPTION	TAG NO.
5960	20" LIVE OAK	10
6105	28" LIVE OAK	16
6388	9" CEDAR ELM	56
6434	20" LIVE OAK	61
6436	8" CEDAR ELM	60
6477	11" LIVE OAK	62
6478	12" LIVE OAK	64
6881	15" ASH	75
6882	10" ASH	76

LEGEND

OPRWC	OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY
PRWC	PLAT RECORDS WILLIAMSON COUNTY
RRPRWC	REAL PROPERTY RECORDS OF WILLIAMSON COUNTY
DRWC	DEED RECORDS OF WILLIAMSON COUNTY
R.O.W.	RIGHT OF WAY
D.E.	DRAINAGE EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT
W.M.D.E.	WALL MAINTENANCE DRAINAGE EASEMENT
●	1/2" IRON ROD FOUND WITH CAP
○	UNLESS OTHERWISE NOTED
◆	1/2" IRON ROD W/ "KHA" CAP SET
⊕	BENCHMARKS
⊗	BLOCK DESIGNATION
○	PROTECTED TREES

REPLAT OF

STONE OAK AT ROUND ROCK,  
SECTION 6, LOT 2 SUBDIVISION

8.492 ACRE TRACT OF LAND SITUATED IN THE EPHRAIM  
EVANS SURVEY, ABSTRACT No. 212, CITY OF ROUND  
ROCK, WILLIAMSON COUNTY, TEXAS.

**Kimley»Horn**

10101 Reunion Place, Suite 400  
San Antonio, Texas 78216 FIRM # 10193973

Tel. No. (210) 541-9166  
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	MAV	JGM	8/3/2022	069293604	1 OF 2

TRACKING NUMBER: FP2207-003

DWG NAME: K:\AUS\_CIVIL\069293604-BRIDGE TOWER HOMES - STONE OAK\TRANSFER-INK\KHA\PLAT\22\220603 RE-PLAT\STONE OAK AT ROUND ROCK, SECTION 6, LOT 2.DWG PLOTTED BY: HARRIS, AYANNA 8/3/2022 9:32 AM LAST SAVED: 8/3/2022 8:44 AM

DWG NAME: K:\AUS\_CIVIL\0692\93604-BRIDGE TOWER HOMES - STONE OAK\TRANSFER-INKHAI\PLAT20220803 RE-PLAT STONE OAK AT ROUND ROCK, SECTION 6, LOT 2 DWG PLOTTED BY HARRIS, AYANNA 8/3/2023 4:33 AM LAST SAVED 8/3/2023 8:44 AM