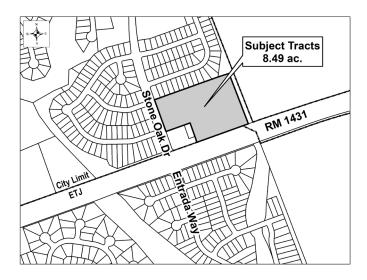
Replat of Stone Oak at Round Rock Section 6, Lot 2 Subdivision FINAL PLAT FP2207-003



CASE PLANNER: Caitlyn Reeves

REQUEST: The Replat request is to combine one existing platted lot with additional unplatted acreage to

create one development lot.

ZONING AT TIME OF APPLICATION: TH (Townhouse)

DESCRIPTION: 8.49 acres out of the Ephraim Evans Survey, Abstract No. 212

CURRENT USE OF PROPERTY: Vacant and undeveloped - Zoned TH (Townhouse)

COMPREHENSIVE PLAN LAND USE DESIGNATION: Residential

ADJACENT LAND USE:

North: Stone Oak At Round Rock Subdivision - Zoned SF-2 (Single Family - Standard Lot)

South: RM 1431 ROW - Unzoned

East: Stone Oak at Round Rock Subdivision- Zoned SF-2 (Single Family - Standard Lot)

West: Stone Oak Drive ROW - Unzoned

PROPOSED LAND USE: Residential - Townhouse

	PROPOSED LOTS BY TYPE:	NUMBER OF LOTS	<u>ACREAGE</u>
	Residential - Single Unit:	0	0
	Residential - Multi Unit:	1	8.49
	Office:	0	0
	Commercial:	0	0
	Industrial:	0	0
	Open/Common Space:	0	0
	ROW:	0	0
	Parkland:	0	0
	Other:	0	0
TOTALS:		1	8.49

Owner:	Agent:	Developer:
Blevco II, LLC	Kimley-Horn	Bridge Tower Homes, LLC
Thomas C. Blevins	Sarah J. Mays, P.E.	Adam Green
7144 Valburn Drive	10814 Jollyville Rd	5430 LBJ Freeway
Austin, TX 78731	Bldg. IV, Ste 200	Ste 1050
	Austin, TX 78759	Dallas, TX 75240

Replat of Stone Oak at Round Rock Section 6, Lot 2 Subdivision FINAL PLAT FP2207-003

HISTORY: The Planning and Zoning Commission approved the original "Stone Oak at Round Rock Section 6, Lot 2" final plat on March 20, 2002. This Replat request is to combine one existing platted lot with additional unplatted acreage to create one development lot.

DATE OF REVIEW: August 17, 2022

LOCATION: Generally located north of RM 1431 and east of Stone Oak Dr.

STAFF REVIEW AND ANALYSIS:

<u>Comprehensive Plan and Zoning:</u> The Future Land Use Map of the Round Rock 2030 Comprehensive Plan designates this tract for residential use and is zoned TH (Townhouse). The TH zoning district allows for a maximum of 14-dwelling units per acre.

<u>Traffic, Access, and Roads:</u> The subject tract has frontage along Stone Oak Drive and RM 1431. Roadway Impact Fees (RIFs) will be required at the submittal of the building permit and will be assessed based on the date of final plat recordation.

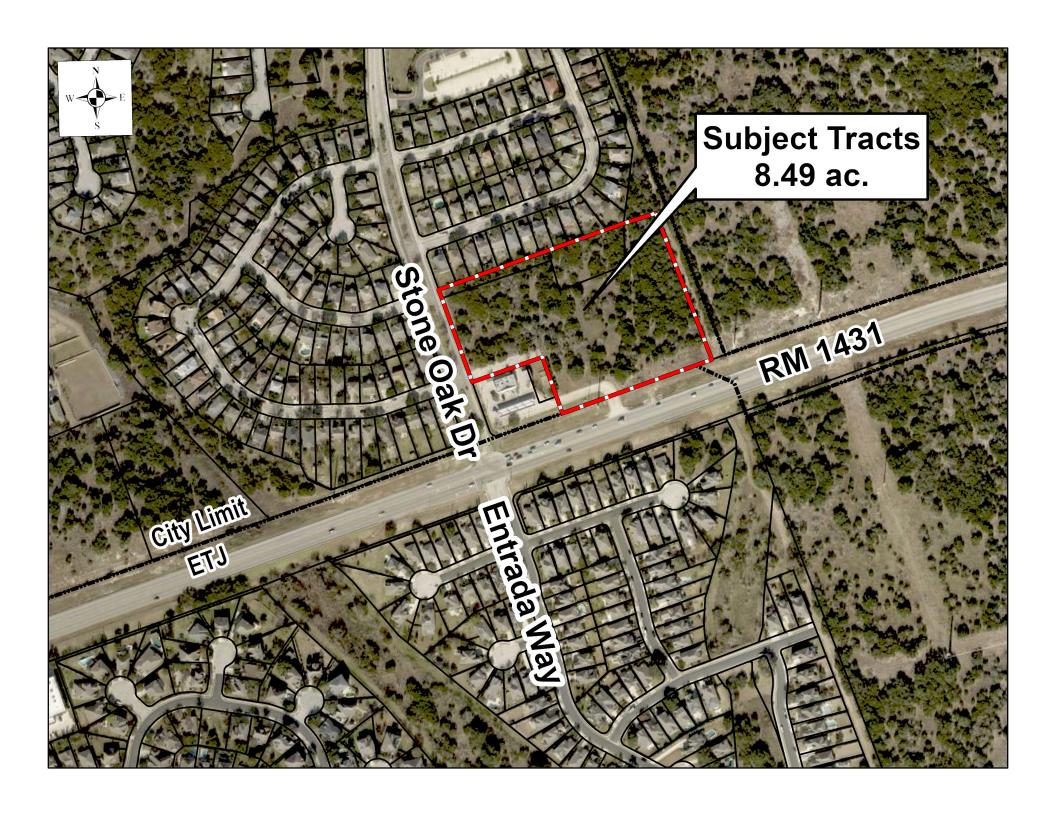
<u>Water and Wastewater Service</u>: Water and wastewater service will be provided by the City of Round Rock. Water service will be provided via a connection to an existing 12-inch waterline along Stone Oak Drive. Wastewater service will be provided via a connection to an existing 8-inch wastewater line along Stone Oak Drive.

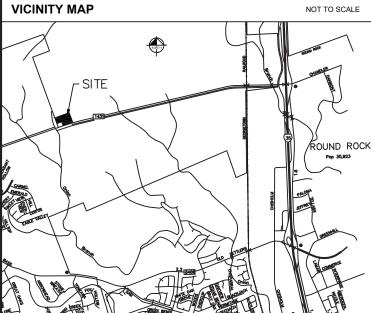
<u>Drainage:</u> A flood study (FLOOD2205-0003) was approved on June 10, 2022. The applicant intends to detain stormwater on-site, and the final location of proposed detention facilities will be determined at the site development permit stage.

RECOMMENDED MOTION:

Staff recommends approval with the following conditions:

- 1. Prior to recordation, revise the easement being dedicated to the City of Round Rock as "Storm Sewer and Drainage Easement", not "Drainage, Storm and Sewer Easement."
- 2. Prior to recordation, revise legend to include line types.





BLEVCO IL L.L.C. A TEXAS LIMITED LIABILITY COMPANY

ACREAGE: 8.492 SURVEYOR: KIMLEY-HORN AND ASSOCIATES, INC. 10101 REUNION PLACE, SUITE 400 SAN ANTONIO, TEXAS 78216 TBPLS FIRM REGISTRATION NO. 10193973. CONTACT: JOHN G. MOSIER, R.P.L.S.

LINEAR FEET OF NEW STREETS: N/A SUBMITTAL DATE: 7/19/2022 DATE OF PLANNING AND ZONING COMMISSION REVIEW: 8/17/2022
BENCHMARK DESCRIPTION & ELEVATION WITH VERTICAL

DATUM AND GEOID: DATUM: VERTICAL DATUM: NAVD'88 (GEOID 12A)

TBM #101 "MAG NAIL W/WASHER" SET ON THE NORTHEASTERLY CORNER OF CURB INLET AND ON THI EASTERLY SIDE OF STONE OAK DRIVE ±640' NORTH OF F.M.

ELEVATION = 879.94 FEET.

NUMBER OF BLOCKS: 1

TBM #101 "MAG NAIL W/WASHER" SET ON THE BACK OF CURB AT THE NORTH END OF MEDIAN IN CENTER LINE OF STONE OAK DRIVE ±295' NORTH OF F.M. 1431. ELEVATION = 872.18 FEET.

ACREAGE BY LOT TYPE: 8.492 ACRES OF DEVELOPMENT PATENT SURVEY: EPHRAIM EVANS SURVEY, ABSTRACT NO. 212, CITY OF ROUND ROCK, WILLIAMSON COUNTY, TEXAS. ENGINEER:

KIMLEY-HORN AND ASSOCIATES, INC. 10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 200 AUSTIN, TEXAS 78759 TBPE FIRM NO. 928 CONTACT: SARAH J. MAYS. P.E. NUMBER OF LOTS BY TYPE: 1 DEVELOPMENT LOT

- BUILDING SETBACKS SHALL BE ACCORDANCE WITH PART III, ZONING AND DEVELOPMENT CODE, CHAPTER 2, ZONING DISTRICTS AND USE
- AND DEVELOR MENT CODE, CHAPTER 2, CONTINO DISTRICT SHIND OF REGULATIONS, CITY OF ROUND ROCK, TEXAS, 2018, AS AMENDED. SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH PART III, ZONING AND DEVELOPMENT CODE, SECTION 6-26, CITY OF ROUND ROCK, TEXAS, 2018, AS AMENDED.
- NO PORTION OF THIS TRACT IS ENCROACHED BY ANY SPECIAL FLOOD HAZARD AREAS INUNDATED BY THE 1% ANNUAL CHANCE FLOOD AS IDENTIFIED BY THE U.S. FEDERAL EMERGENCY MANAGEMENT AGENGY BOUNDARY MAP (FLOOD INSURANCE RATE MAP) COMMUNITY PANEL NUMBER 48491C0486F, EFFECTIVE DATE DECEMBER 20, 2019, FOR WILLIAMSON COUNTY.
 A PORTION OF THIS TRACT IS ENCROACHED BY THE ULTIMATE 1%
- ANNUAL CHANCE FLOODPLAIN PER FLOODPLAIN STUDY PREPARED BY KIMLEY-HORN DATED MAY 20, 2022 AND ACCEPTED BY CITY OF ROUND ROCK ON JUNE 6, 2022. NO FENCES, STRUCTURES, STORAGE, OR FILL SHALL BE PLACED WITHIN THE LIMITS OF THE ULTIMATE 1% ANNUAL CHANCE FLOODPLAIN: UNLESS APPROVED BY THE CITY ENGINEER. FILL MAY ONLY BE PERMITTED BY THE CITY ENGINEER AFTER APPROVAL OF THE PROPER ANALYSIS. ALL SLAB ELEVATIONS SHALL BE A MINIMUM OF TWO (2) FEET ABOVE THE ULTIMATE 1% ANNUAL CHANCE FLOODPLAIN.
- NO OBSTRUCTIONS, INCLUDING BUT NOT LIMITED TO FENCING OR STORAGE, SHALL BE PERMITED IN ANY DRAINAGE EASEMENTS SHOWN HEREON.
- WITH THE EXCEPTION OF PROPERTIES LOCATED WITHIN THE MU-1 AND MU-Z ZONING DISTRICTS, A TEN-FOOT (10) PUE AND SIDEWALK EASEMENT ABUTTING AND ALONG THE STREET SIDE PROPERTY LINE IS HEREBY DEDICATED FOR ALL STREET SIDE PROPERTY LOTS
- ALL SLAB ELEVATIONS SHALL BE A MINIMUM OF TWO (2) FEET ABOVE THE ULTIMATE 1% ANNUAL CHANCE FLOODPLAIN

EASEMENT NOTES:

THE PERPETUAL EASEMENT, RIGHT-OF-WAY, RIGHTS, AND PRIVILEGES HEREIN GRANTED SHALL BE USED FOR THE PURPOSES OF LOCATION, PLACEMENT, RELOCATION, CONSTRUCTION, OPERATION, ENLARGEMENT, MAINTENANCE. ALTERATION, REPAIR, REBUILDING, REMOVAL, AND PATROL OF UTILITIES AND ASSOCIATED FACILITIES INCLUDING BUT NOT LIMITED TO: PIPES, VALVES, VAULTS, MANHOLES CHANNELS INLETS STRUCTURES ACCESS FACILITIES CONDUITS APPURTENANCES, AND ANY NECESSARY ACCESSORIES THERETO (COLLECTIVELY

THIS CONVEYANCE IS MADE AND ACCEPTED SUBJECT TO ANY AND ALL CONDITIONS AND RESTRICTIONS, IF ANY, RELATING TO THE HEREINABOVE DESCRIBE AND RESTRICTIONS, IF ANY, RELATING TO THE EXTENT, THAT THE SAME MAY STILL BE IN FORCE AND EFFECT AND SHOWN OF RECORD IN THE OFFICE OF THE COUNTY CLERK OF WILLIAMSON COUNTY, TEXAS OR TRAVIS COUNTY, TEXAS.

EXCEPT AS OTHERWISE NOTED, THE EASEMENT, RIGHTS, AND PRIVILEGES HEREIN GRANTED SHALL BE PERPETUAL, PROVIDED HOWEVER THAT SAID EASEMENT RIGHTS, AND PRIVILEGES SHALL CEASE AND REVERT TO GRANTORS IN THE EVENT THE UTILITIES ARE ABANDONED OR SHALL CEASE TO BE IN OPERATION, FOR A PERIOD OF FIVE (5) CONSECUTIVE YEARS

THE PERPETUAL EASEMENT, RIGHT-OF-WAY, RIGHTS, AND PRIVILEGES GRANTED HEREIN ARE EXCLUSIVE, AND GRANTOR COVENANTS NOT TO CONVEY ANY OTHER EASEMENT OR CONFLICTING RIGHTS WITHIN THE PREMISES COVERED BY THIS GRANT, WITHOUT THE EXPRESS WRITTEN CONSENT OF GRANTEE, WHICH CONSENT SHALL NOT BE UNREASONABLY WITHHELD. GRANTEE SHALL HAVE THE RIGHT TO REVIEW ANY PROPOSED EASEMENT OR CONFLICTING USE TO DETERMINE THE FEFECT, IF, ANY, ON THE FACILITIES CONTEMPLATED HEREIN, PRIOR TO GRANTING ITS CONSENT FOR OTHER EASEMENTS, GRANTEE MAY REQUIRE REASONABLE SAFEGUARDS TO PROTECT THE INTEGRITY OF THE FACILITIES THEREON.

- RANTOR FURTHER GRANTS TO GRANTEE:
 (a) THE RIGHT TO INSTALL ADDITIONAL FACILITIES ON THE EASEMENT TRACT;
 (b) THE RIGHT TO GRADE THE EASEMENT FOR THE FULL WIDTH THEREOF AND TO EXTEND THE CUTS AND FILLS FOR SUCH GRADING INTO AND ONTO THE LAND ALONG AND OUTSIDE THE EASEMENT TO SUCH EXTENT AS GRANTEE MAY FIND REASONABLY NECESSARY;
- MAY FIND REASONABLY NECESSARY.
 THE RIGHT OF INGRESS TO AND EGRESS FROM THE EASEMENT OVER AND ACROSS GRANTOR'S PROPERTY BY MEANS OF ROADS AND LANES THEREON, IF SUCH EXIST, OTHERWISE BY SUCH ROUTE OR ROUTES AS SHALL OCCASION THE LEAST PRACTICABLE DAMAGE AND INCONVENIENCE TO GRANTOR; PROVIDED THAT SUCH RIGHT OF INGRESS AND EGRESS SHALL NOT EXTEND TO ANY PORTION OF GRANTOR'S PROPERTY WHICH IS ISOLATED FROM THE EASEMENT BY ANY PUBLIC HIGHWAY OR ROAD NOW CROSSING OR HEREAFTER CROSSING THE PROPERTY. THE FOREGOING RIGHT OF INGRESS AND EGRESS INCLUDES THE RIGHT OF THE GRANTEE AND ASSIGNED EMPLOYEES OF GRANTEE TO DISASSEMBLE, REMOVE, TAKE DOWN, AND CLEAR AWAY ANY FENCE, BARRICADE, OR OTHER STRUCTURE WHICH OBSTRUCTS, PREVENTS, OR HIDDERS GRANTEE'S INGRESS TO AND WHICH OBSTRUCTS, PREVENTS, OR HINDERS GRANTEE'S INGRESS TO AND EGRESS FROM THE GRANTOR'S PROPERTY, AND SHOULD GRANTEE DEEM IT NECESSARY TO SO DISASSEMBLE, REMOVE, TAKE DOWN, OR CLEAR AWAY ANY SUCH FENCE, BARRICADE, OR OTHER STRUCTURE, GRANTEE SHALL, AS SOON AS IS REASONABLY FEASIBLE, REPLACE OR RESTORE GRANTOR'S PROPERTY TO AS SIMILAR A CONDITION AS REASONABLY PRACTICABLE AS EXISTED IMMEDIATELY PRIOR TO GRANTEE'S ACTIONS PURSUANT TO THIS PROVISION, UNLESS SAID FENCE, BARRICADE, OR OTHER STRUCTURE IS INCONSISTENT WITH THE RIGHTS CONVEYED TO GRANTEE HEREIN:
- THE RIGHT OF GRADING FOR CONSTRUCTION MAINTAINING AND USING THE RIGHT OF EXAMING FOR, CONSTRUCTION, MAINTAINING MIXED SING SUCH ROADS ON AND ACROSS THE PROPERTY AS GRANTEE MAY DEEM NECESSARY IN THE EXERCISE OF THE RIGHT OF INGRESS AND EGRESS OR TO PROVIDE ACCESS TO PROPERTY ADJACENT TO THE EASEMENT;
- NECESSARY IN THE EXERCISE OF THE RIGHT OF INNERESS AND ESPRESS OR TO PROVIDE ACCESS TO PROPERTY A DALACENT TO THE EASEMENT;

 THE RIGHT FROM TIME TO TIME TO TRIM AND TO CUT DOWN AND CLEAR AWAY ANY AND ALL TREES AND BRUSH NOW OR HEREAFTER ON THE EASEMENT AND TO TRIM AND TO CUT DOWN AND CLEAR AWAY ANY TREES ON EITHER SIDE OF THE EASEMENT WHICH NOW OR HEREAFTER IN THE OPINION OF GRANTEE MAY BE A HAZARD TO ANY PIPELINE; VALVES, APPLIANCES, FITHINGS, OR OTHER IMPROVEMENTS BY REASON OF THE DANGER OF FALLING THEREON OR ROOT INFILITATION THEREIN, OR WHICH MAY OTHERWISE INTERFERE WITH THE EXERCISE OF GRANTEE'S RIGHTS HEREUNDER; PROVIDED HOWEVER, THAT ALL TREES WHICH GRANTEE IS HEREBY AUTHORIZED TO CUT AND REMOVE, IF VALUABLE FOR TIMBER OR FIREWOOD, SHALL CONTINUE TO BE THE PROPERTY OF GRANTOR, BUT ALL TOPS, LOPS, BRUSH AND REFUSE WOOD SHALL BE BURNED OR REMOVED BY GRANTEE;

 THE RIGHT TO MARK THE LOCATION OF THE EASEMENT BY SUITABLE
- (f) THE RIGHT TO MARK THE LOCATION OF THE EASEMENT BY SUITABLE MARKERS SET IN THE GROUND; PROVIDED THAT SUCH MARKERS SHALL BE PLACED IN FENCES OR OTHER LOCATIONS WHICH WILL NOT INTERFERE WITH ANY REASONABLE USE GRANTOR SHALL MAKE OF THE EASEMENT

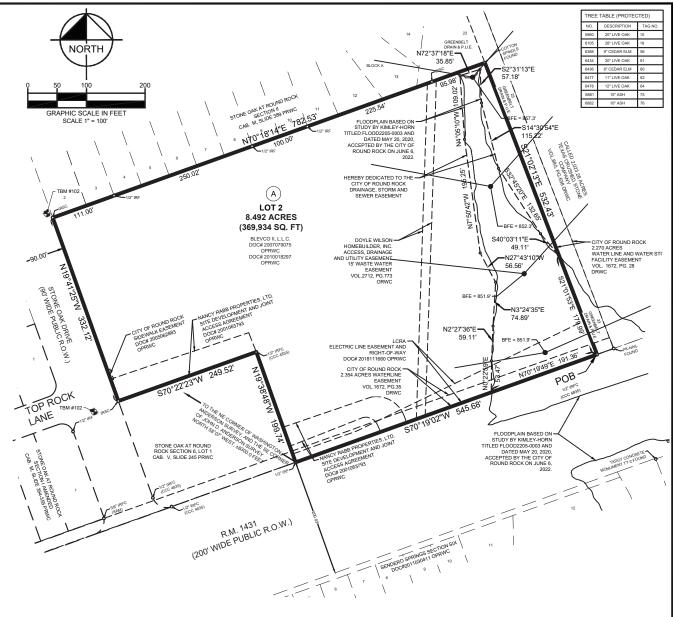
GRANTEE HEREBY COVENANTS AND AGREES:

- (a) GRANTEE SHALL NOT FENCE THE EASEMENT;
- (b) GRANTEE SHALL PROMPTLY BACKFILL ANY TRENCH MADE BY IT ON THE EASEMENT AND REPAIR ANY DAMAGE IT SHALL DO TO GRANTORS PRIVATE ROADS OR LANES ON THE LANDS:
- TO THE EXTENT ALLOWED BY LAW, GRANTEE SHALL INDEMNIFY GRANTOR AGAINST ANY LOSS AND DAMAGE WHICH SHALL BE CAUSED BY THE EXERCISE OF THE RIGHTS OF INGRESS AND ECRESS OR BY ANY WRONGFUL OR NEGLIGENT ACT OR OMISSION OF GRANTEE'S AGENTS OR

IT IS UNDERSTOOD AND AGREED THAT ANY AND ALL EQUIPMENT PLACED UPON SAID PROPERTY SHALL REMAIN THE PROPERTY OF GRANTEE.

GRANTOR HEREBY DEDICATES THE EASEMENT FOR THE PURPOSES STATED

TO HAVE AND TO HOLD THE RIGHTS AND INTERESTS DESCRIBED LINTO GRANTEE TO HAVE AND TO HOLD THE RIGHTS AND INTERESTS DESCRIBED UNTO GRANTEE AND ITS SUCCESSORS AND ASSIGNS, FOREVER, TOSETHER WITH ALL AND SINGULAR ALL USUAL AND CUSTOMARY RIGHTS THERETO IN ANYWISE BELONGING, AND TOGETHER WITH THE RIGHT AND PRIVILEGE AT ANY AND ALL TIMES TO ENTER SAID PREMISES, OR ANY PART THEREOF, FOR THE PURPOSE OF CONSTRUCTING OR MAINTAINING SAID UTILITIES AND FOR MAKING CONNECTIONS THEREWITH, AND GRANTOR DOES HEREBY BIND ITSELF, IT'S SUCCESSORS AND ASSIGNS AND LEGAL REPRESENTATIVES, TO WARRANT AND FOREVER DEFEND, ALL AND SINGULAR, THE SAID FASEMENT AND RIGHTS AND INTERESTS UNTO THE CITY OF ROUND ROCK TEXAS, ITS SUCCESSORS AND ASSIGNS, AGAINST EVERY PERSON WHOMSOEVER LAWFULLY CLAIMING OR TO CLAIM THE SAME OR ANY PART THEREOF



REPLAT CONFIGURATION

BENCH MARK LIST

TBM #101 "MAG NAIL W/WASHER" SET ON THE NORTHEASTERLY CORNER OF CURB INLET AND ON THE EASTERLY SIDE OF STONE OAK DRIVE ±640' NORTH OF F.M. 1431. ELEVATION = 879.94 FEET.

TBM #102 "MAG NAIL W/WASHER" SET ON THE BACK OF CURB AT THE NORTH END OF MEDIAN IN CENTER LINE OF STONE OAK DRIVE ±295' NORTH OF F M 1431 ELEVATION = 872.18 FEET

DATUM: NAV'88 (GEOID 12A)

SURVEYOR'S NOTES:

- All corners of the platted lots in the subdivision will be monumented with 1/2-inch iron rods with a plastic cap stamped "KHA", unless otherwise noted.
- The bearings shown hereon are based on the Texas State Plane Coordinate System Surface, Central Zone (FIPS 4203) (NAD'83), as determined by the Global Positioning System (GPS). All distances shown hereon are on the SURFACE. To convert SURFACE distances to the GRID, apply the combine SURFACE to GRID scale factor of 0.9998800144. The unit of
- The precision closure for the boundary of the re-plat is 1:426,132.26 which is with in the minimum standards set forth by the Texas Board of Professional Land Surveying

LEGEND FLAI RECURDS WILLIAMSON COUNTY REAL PROPERTY RECORDS OF WILLIAMSON COL DEED RECORDS OF WILLIAMSON COUNTY RIGHT OF WAY RIGHT OF WAY DRAINAGE EASEMENT PUBLIC UTILITY EASEMENT WALL MAINTENANCE DRAINAGE EASEMENT 1/2" IRON ROD FOUND WITH CAP UNLESS OTHER WISE NOTED BENCHMARKS \otimes BLOCK DESIGNATION

REPLAT OF STONE OAK AT ROUND ROCK, SECTION 6, LOT 2 SUBDIVISION

8.492 ACRE TRACT OF LAND SITUATED IN THE EPHRAIM EVANS SURVEY, ABSTRACT No. 212, CITY OF ROUND ROCK, WILLIAMSON COUNTY, TEXAS.

Date

8/3/2022

Checked by

.IGM

10101 Reunion Place. Suite 400 San Antonio, Texas 78216 FIRM # 10193973 Drawn by

Scale

1" = 100'

Tel. No. (210) 541-9166 Sheet No. Project No.

> 069293604 1 OF 2

Copyright @ 2022 All rights reserved STATE OF TEXAS \$
COUNTY OF WILLIAMSON \$
THAT BLEVCO II, LL.C., A TEXAS LIMITED LIABILITY COMPANY, AS THE OWNER OF THAT CERTAIN
8.492 ACRE TRACT OF LAND RECORDED IN DOCUMENT NUMBER 2007079075 AND DOCUMENT

NUMBER 2010018297, BOTH OF THE OFFICIAL RECORDS OF WILLIAMSON COUNTY, TEXAS DO HEREBY DEDICATE TO THE PUBLIC FOREVER USE OF THE STREETS, ALLEYS, EASEMENTS AND ALL OTHER LANDS INTENDED FOR PUBLIC DEDICATION AS SHOWN HEREON TO BE KNOWN AS REPLAT OF STONE OAK AT ROUND ROCK, SECTION 6, LOT 2 SUBDIVISION.

REPLAT OF STONE OAK AT ROUND ROCK, SECTION 6. LOT 2 SUBDIVISION 8.492 ACRE TRACT OF LAND SITUATED IN THE EPHRAIM EVANS SURVEY, ABSTRACT No. 212, CITY OF ROUND ROCK, WILLIAMSON COUNTY, TEXAS.

BLEVCO II, L.L.C.

THOMAS C. BLEVINS

THE STATE OF TEXAS § COUNTY OF WILLIAMSON 8 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE _____ DAY OF _____ , 20 BY, THOMAS C. BLEVINS, AS MANAGER OF <u>BLEVCO II, L.L.C.</u>, A TEXAS LIMITED LIABILITY COMPANY, ON BEHALF OF SAID BLEVCO II, L.L.C.

NOTARY PUBLIC. STATE OF TEXAS PRINTED NAME:
MY COMMISSION EXPIRES:

THE STATE OF TEXAS § COUNTY OF WILLIAMSON §

THAT I, _____, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE ON-THE-GROUND SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH CHAPTER 4 - SUBDIVISION DESIGN AND CONSTRUCTION, PART III - ZONING AND DEVELOPMENT CODE, CODE OF ORDINANCES, CITY OF ROUND ROCK, 2018 EDITION AS AMENDED.

JOHN G. MOSIER REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6330 601 NW LOOP 410, SUITE 350 SAN ANTONIO, TEXAS 78216

JOHN G. MOSIER 6330

THE STATE OF TEXAS § COUNTY OF WILLIAMSON §

. DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED ON THIS PLAT COMPLIES WITH CHAPTER 4 - SUBDIVISION DESIGN AND CONSTRUCTION, PART III - ZONING AND DEVELOPMENT CODE, CODE OF ORDINANCES, CITY OF ROUND ROCK, 2018 EDITION AS AMENDED, AND THE DESIGN AND CONSTRUCTION STANDARDS ADOPTED BY THE CITY OF ROUND

ENGINEERED BY

SARAH J. MAYS, P.E. REGISTERED PROFESSIONAL ENGINEER No. 129794 KIMLEY-HORN AND ASSOCIATES, INC. 10814 JOLLYVILLE ROAD, AVALLON IV, SUITE 200 AUSTIN TEXAS 78759



APPROVED THIS ____ DAY OF ____ , 20__ , BY THE CITY PLANNING AND ZONING COMMISSION OF THE CITY OF ROUND ROCK, TEXAS, AND AUTHORIZED TO BE FILED FOR RECORD BY THE COUNTY CLERK OF WILLIAMSON

THE PROPERTY COVERED BY THIS PLAT IS WITHIN THE CITY LIMITS OF THE CITY OF ROUND ROCK.

JENNIFER HENDERSON, CHAIRMAN

CITY OF ROUND ROCK PLANNING AND ZONING COMMISSION

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EXISTING BLANKET, UNDEFINED, OR UNLOCATABLE EASEMENTS NOTE:

COUNTY OF WILLIAMSON §
THAT I, NANCY RISTER, CLERK OF THE COUNTY COURT OF SAID COUNTY, DO HEREBY CERTIEY THAT THE FOREGOING INSTRUMENT IN WRITING WITH ITS CERTIFICATION OF

WITNESS MY HAND AND SEAL OF THE COUNTY COURT OF SAID COUNTY, AT OFFICE IN

GEORGETOWN, TEXAS, THE DATE LAST ABOVE WRITTEN

NANCY RISTER, CLERK, COUNTY COURT

DEPLITY

WILLIAMSON COUNTY, TEXAS

A METES AND BOUNDS 8.492 ACRE TRACT OF LAND

BEING a 8.492 acre (369.934 square feet) tract of land situated in the Ephraim Evans Survey. Abstract No. 212, City of Round Rock, Williamson County, Texas, and being all of that certain 7.18 acre tract described in instrument to Blevoo II, LLC, recorded in Document No. 2007079075 of the Official Public Records of Williamson County, and all of Lot 2, Block A, Stone Oak at Round Rock, Section 6, Lot 2, plat of which is recorded in Cabinet W, Slides 54-55 of the Plat Records of Williamson County; and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod with yellow plastic cap stamped "CCC 4835" found on the northerly right of way line of Farm to Market Road 1431 (200 feet width public right-of-way), marking the most south-southwest corner of Lot 23, Block A, Stone Oak at Round Rock, Section II, plat of which is recorded in Cabinet M, Slide 389 of the Plat Records of Williamson County, and marking the southeast corner of the herein described tract;

THENCE, South 70°19'02" West, 545.68 feet along the said northerly right of way line of Farm to Market Road 1431 to a 1/2-inch iron rod found marking the southeast corner of Stone Oak at Round Rock, Section 6, Lot 1, plat of which is recorded in Cabinet V, Slide 245 of the Plat Records of Williamson County for corner;

THENCE, along the northeasterly and northwesterly lines of said Section 6, Lot 1 the following two (2) courses and

- North 19°38'48" West, 199.74 feet to a 1/2-inch iron rod with yellow plastic cap stamped "CCC 4835" found marking the northeast corner of said Section 6. Lot 1 for corner:
- 2. South 70°22'23" West, 249.52 feet to a 1/2-inch iron rod with red plastic cap stamped "KHA" set on the northeasterly right of way line of Stone Oak Drive (90 feet width public right-of-way) marking the northwest corner of said Section 6, Lot 1 for corner;

THENCE, North 19°41'25" West, along the said northeasterly right of way line of Stone Oak Drive; at a distance of 67.09 feet passing a 1/2-inch iron rod found online, at a distance of 292.42 feet passing a 1/2-inch iron rod with yellow plastic cap stamped "KC ENGINEERING" found marking the most west-southwest corner of said Stone Oak at Round Rock, Section 6, Lot 2, Block A, and the west corner of said 7.18 acre tract, for a total distance of 332.12 feet to a 1/2-inch iron rod with red plastic cap stamped "KHA" set marking the south corner of Lot 2, Block A of said Stone Oak at Round Rock, Section II, and

THENCE. North 70°18'14" Fast, along the southeasterly line of said. Stone Oak at Round Rock. Section II. at a distance of 111.00 feet passing a 1/2-inch iron rod found marking the south corner of Lot 4, Block A of said Stone Oak at Round Rock, Section II; at a distance of 361.02 feet passing a 1/2-inch iron rod found marking the south corner of Lot 9, Block A of said Stone Oak at Round Rock, Section II; at a distance of 461.02 feet passing a 1/2-inch iron rod found marking the south corner of Lot 11, Block A of said Stone Oak at Round Rock, Section II; at a distance of 686.56 feet passing a 1/2-inch iron rod with red plastic cap stamped "KHA" set marking the northeast corner of said Stone Oak at Round Rock, Section 6, Lot 2, Block A; for a total distance of 782.53 feet to a cotton spindle found marking the northeast corner of said 7.18 acre tract

THENCE, South 21°02'13" East, 532.43 feet to the POINT OF BEGINNING and containing 8.492 acres of land in Williamson County, Texas. The basis of this description is the Texas State Plane Coordinate System, Central Zone (FIPS 4203) (NAD'83). All distances are on the Surface and shown in U.S. Survey Feet. The Combined Surface to Grid Scale

10101 Reunion Place, Suite 400

Checked by

JGM

San Antonio, Texas 78216

Drawn by

MAV

Scale

1" = 100'

FIRM # 10193973

Date

Tel No. (210) 541-9166

Proiect No. 8/3/2022 069293604 2 OF 2

Sheet No.