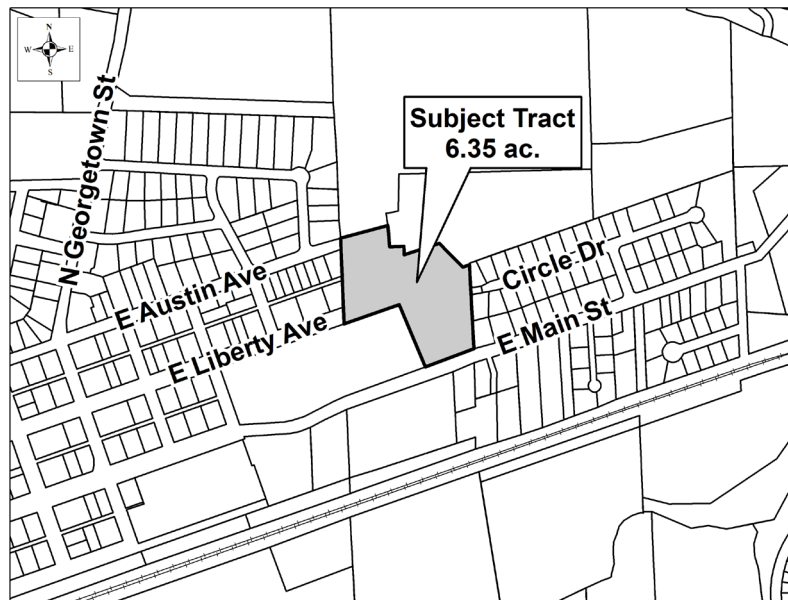


**Main Street Townhomes Planned Unit Development (PUD)**  
**ZONING ZON 2207-001**



**CASE PLANNER:** Clyde von Rosenberg

**REQUEST:** Recommendation of approval for PUD zoning to allow townhouse development

**ZONING AT TIME OF APPLICATION:** C-1 (General Commercial) and SF-2 (Single Family - standard lot)

**DESCRIPTION:** 6.35 acres out of the P.A. Holder Survey, Abstract No. 297

**CURRENT USE OF PROPERTY:** Undeveloped

**COMPREHENSIVE PLAN LAND USE DESIGNATION:** Residential

**ADJACENT LAND USE:**

North: single family and wastewater treatment plant

South: multifamily and single family

East: wastewater treatment plant and single family

West: single family and senior living facility

**PROPOSED LAND USE:** Townhouses

**TOTAL ACREAGE:** 6.35

**Owner:**  
Round Rock Main Ave LLC  
Kathleen Hooker  
370 S Mahoney  
Ste 115  
Telluride, CO 81425

**Applicant:**  
SEC Planning, LLC  
Peter Verdicchio  
4201 W. Parmer Ln.  
Building A, Suite 220  
Austin, TX 78727

**Developer:**  
Pulte Homes  
Ben Wiggings  
9401 Amberglen Blvd  
Bldg I, ste 150  
Austin, TX 78729

**Main Street Townhomes Planned Unit Development (PUD)**  
**ZONING ZON 2207-001**

**HISTORY:** The property has been zoned as C-1 (General Commercial) and SF-2 (Single Family – standard lot) for many years. It is undeveloped.

**DATE OF REVIEW:** August 17, 2022

**LOCATION:** North of E Main St and east of E Liberty Ave

**STAFF REVIEW AND ANALYSIS:**

Comprehensive Plan and Zoning: The Future Land Use Map of the comprehensive plan designates the area for residential uses.

Traffic, Access and Roads: The property has its primary frontage on E. Main Street, while E. Liberty St. and E. Austin Ave. dead end into it.

Proposed PUD: The proposed use is for a maximum of 60 townhouses which feature alley access to the garages in the rear of the units and pedestrian courtyards in the front of the units. The PUD also establishes a design standard for the appearance of the units, which can be a maximum of 2.5 stories high.

Additionally, the PUD requires the preservation of specific trees, three of which are identified by the code as monarchs. Also, an additional ten protected trees which measure as 20" or greater in size will be preserved. A landscape planting area will be required along the site's Main Street frontage.

The appearance of the units, the pedestrian-oriented design, and the preservation of trees will help the project fit in well with the surrounding area. In addition, it meets the City's goal of increasing the number of housing units in downtown.

**RECOMMENDED MOTION:**

Staff recommends approval of the PUD.





N Georgetown St

E Austin Ave

E Liberty Ave

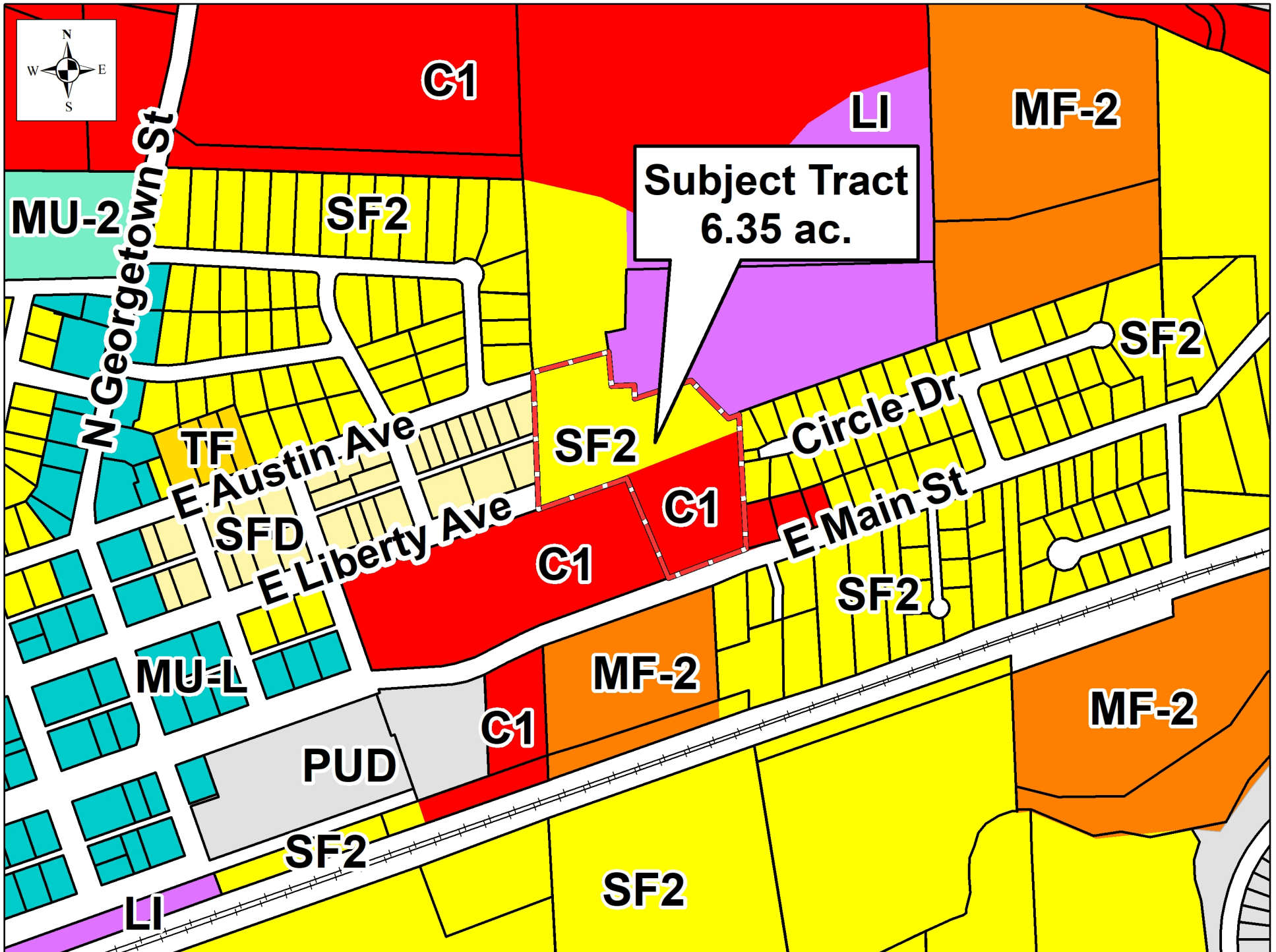
Subject Tract  
6.35 ac.

Circle Dr

E Main St







## **DEVELOPMENT PLAN**

### **1. DEFINITIONS**

Words and terms used herein shall have their usual force and meaning, or as defined in the City of Round Rock Code of Ordinances, as amended, hereinafter referred to as "the Code".

### **2. PROPERTY**

This Development Plan covers approximately 6.34 acres of land, located within the Extraterritorial Jurisdiction of Round Rock, Texas, and more particularly described in **Exhibit "A"**.

### **3. PURPOSE**

The purpose of this Plan is to insure a Planned Unit Development ("PUD") that: (1) is equal to or superior to development that would occur under the standard ordinance requirements, (2) is in harmony with the General Plan of the City of Round Rock, Texas, (3) does not have an undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utilities or any other matters affecting the public health, safety and welfare, (4) is adequately provisioned by essential public facilities and services, and (5) will be developed and maintained so as to not dominate, by scale or massing of structures, the immediate neighboring properties or interfere with their development or use.

### **4. APPLICABILITY OF CITY ORDINANCES**

#### **4.1. Zoning Ordinance**

All aspects not specifically covered by this Plan shall be regulated by the **TH (Townhouse)** zoning district, as amended. If there is a conflict between this Plan and the Code, this Plan shall supersede the specific conflicting provisions of the Code.

#### **4.2. Other Ordinances**

All other Ordinances within the Code shall apply to the Property, except as clearly modified by this Plan. In the event of a conflict, the terms of the Plan shall control.

### **5. PERMITTED USES**

#### **5.1. Townhouse, Common Lot**

- 1) One or more townhouse residential dwellings located on a single ownership lot, with each dwelling unit having a private external entrance and private parking.
- 2) A maximum of 60 units shall be permitted.
- 3) Access shall be provided via private drive aisles.
- 4) All dwelling units shall be established as condominium units, pursuant to the Texas Uniform Condominium Act, Section 82.001 et. seq., Texas Property Code.

#### **5.2. All other uses permitted by the TH (Townhouse) zoning district, as listed in Section 2-25 of the Code.**

## **6. SITE LAYOUT**

The development vision is to create a pedestrian-oriented community. The following design elements shall be required.

### **6.1. Alley Load Residential Product**

The garages shall be accessed from alleys at the rear of the townhouses. No garages shall face Main Street or adjoining properties.

### **6.2. Pedestrian Courtyards**

A pedestrian courtyard shall be located at the front of the townhouses, with no vehicle access to the front of the units. The courtyard shall be landscaped and shall include a sidewalk to each unit and at least one (1) bench and one (1) trash can.

## **7. DEVELOPMENT STANDARDS**

### **7.1. Building Setbacks and Separation**

- 1) Minimum building setback from the Main Street public street right-of-way shall be 10 feet (10').
- 2) Minimum building setback from private drive isles shall be four feet (4').
- 3) Minimum side and rear building setback from adjacent non-residential zoned tracts shall be 10 feet (10').
- 4) Minimum building setback from adjoining residential tracts zoned Single Family Downtown (SF-D) and Single-Family Standard Lot (SF-2) shall be fifteen feet (15').
- 5) Minimum building setback from private alley shall be 0 feet (0').
- 6) Building separation shall be a minimum of 10 feet, measured from roof eave to roof eave, or a minimum of 5 feet, measured from the assumed lot line to the roof eave, unless the eaves are one hour fire-rated and the decking is fire retardant for the length of the roof, or as otherwise approved by the building official.

### **7.2. Height**

- 1) No structure shall exceed two and one-half (2.5) stories in height.

### **7.3. Building Design and Exterior Materials**

- 1) Building design and exterior materials shall substantially conform to the renderings in **Exhibit "B"**.
- 2) A minimum of one (1) key architectural feature, such as but not limited to balconies, box windows, canopies/awnings, patios or porches shall be incorporated on all front elevations.

### **7.4. Private Drive Aisles**

- 1) Each private drive aisle shall be a minimum of 26 feet (26') in width from 'face of curb' to 'face of curb'.
- 2) Private drive aisles shall not be gated.
- 3) Private drive aisles shall be designed and constructed according to the

currently adopted City of Round Rock Transportation Criteria Manual for the purposes of pavement design including but not limited to, geotechnical reports, asphalt thickness, flexible base type and thickness, and subgrade preparation and thickness.

**7.5. Parking**

- 1) A total of two (2) garage enclosed resident parking spaces per unit are required.
- 2) Guest parking shall be provided as required:
  - a) A minimum of one (1) guest parking space must be provided for every two (2) residential units.
  - b) The maximum distance from the required guest parking to the unit(s) is four hundred feet (400'), measured along drive lanes and pedestrian trail corridors.
  - c) Parking spaces shall be adjacent to the drive aisles and aligned 90-degrees and shall be designed in accordance with City Transportation Design and Construction Standards.

**7.6. Landscaping**

All applicable landscaping standards contained in Chapter 8, Article II of the Code shall apply, with the following modifications:

- 1) Drought Tolerant Turf Grasses  
All development areas, including residential, which include turf shall utilize Drought Tolerant Turf Grasses, as defined by the Code.
- 2) Native Adapted Plants  
Plant material shall be of a native and/or adapted species, including those selected from *Native and Adapted Landscape Plants, an Earth-Wish Guide for Central Texas*, created by the Texas Cooperative Extension, Grow Green and the Lady Bird Johnson Wildflower Center.
- 3) Main Street frontage
  - a) Landscaping shall be provided along Main Street in an eight-foot (8') wide linear planting bed. The minimum landscaping required for this purpose shall be based on the measured linear footage along the length of the property line (excluding ingress/egress to the public road) adjacent to the public right-of-way
  - b) The required minimum quantity of landscaping is as follows:
    - i. One large tree or two small trees per 40 linear feet, or fraction thereof;
    - ii. One small tree per 60 linear feet, or fraction thereof; and
    - iii. One large shrub, small shrub, or ornamental grass per four (4) linear feet, or fraction thereof.
  - c) Any combination of large shrubs, small shrubs, and ornamental

grasses is acceptable.

- d) There shall be no gap between required landscaping exceeding 25 percent of the length of the landscaped area, unless approved by the zoning administrator.
- e) Notwithstanding the requirements of the Tree Technical Manual, small trees may be grouped no closer than 12 feet apart and large trees may be grouped no closer than 30 feet apart for the purpose of meeting the requirements of this subsection.

#### **7.7. Amenities**

At least one amenity from the list in Section 2-20 (f) of the Code shall be provided.

#### **7.8. Protected Tree Size and Tree Preservation**

- 1) Trees having a diameter of 20 inches (20”) or more are protected trees for the purpose of applying Chapter 8, Article III - Tree Protection and Preservation of the Code.
- 2) All Monarch Trees, as defined in Chapter 8, Article III and indicated on **Exhibit “C”**, shall be preserved in accordance with the Code and with the Tree Technical Manual of the City.
- 3) All trees having a diameter of 20 inches (20”) or more, which are identified on **Exhibit “C”**, shall be preserved in accordance with the Code and with the Tree Technical Manual of the City.

#### **7.9. Maintenance**

A private homeowners association shall be established for the maintenance of landscaping, irrigation, private drive lanes, community signage, walls, medians, common open spaces, and private utilities such as storm lines, wastewater service lines, and stormwater inlets.

### **8. CHANGES TO DEVELOPMENT PLAN**

#### **8.1. Minor Changes**

Minor changes to this Plan which do not substantially and adversely change this Plan may be approved administratively, if approved in writing, by the Director of Planning and Development Services and the City Attorney.

#### **8.2. Major Changes**

All changes not permitted above shall be resubmitted following the same procedure required by the original PUD application.



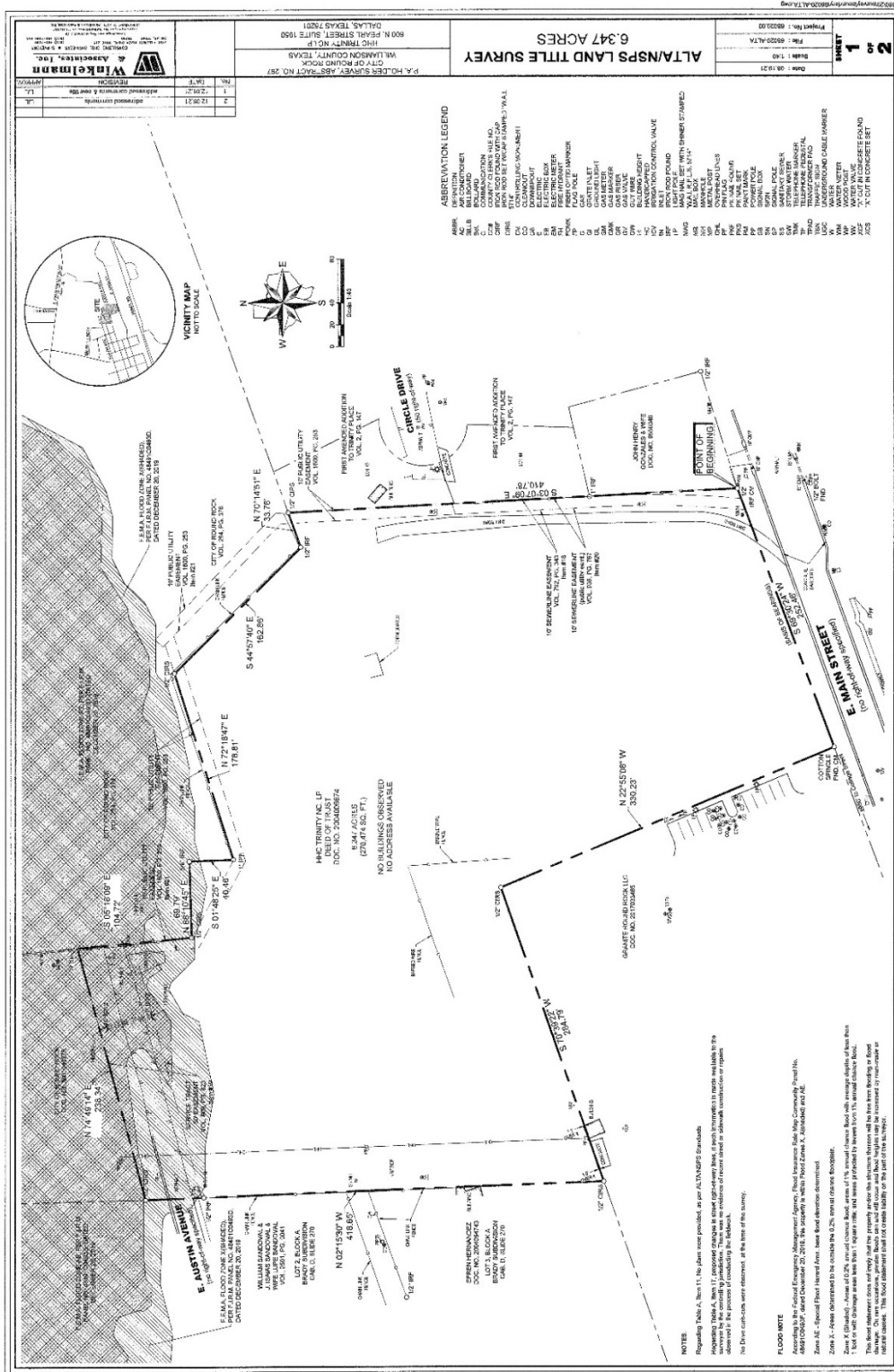
## **LIST OF EXHIBITS**

**Exhibit “A”:** Survey/Field Notes of 6.34-acre tract

**Exhibit “B”:** Prototypical Building Elevation

**Exhibit “C”:** Location of Preserved Trees

## Survey/Field Notes



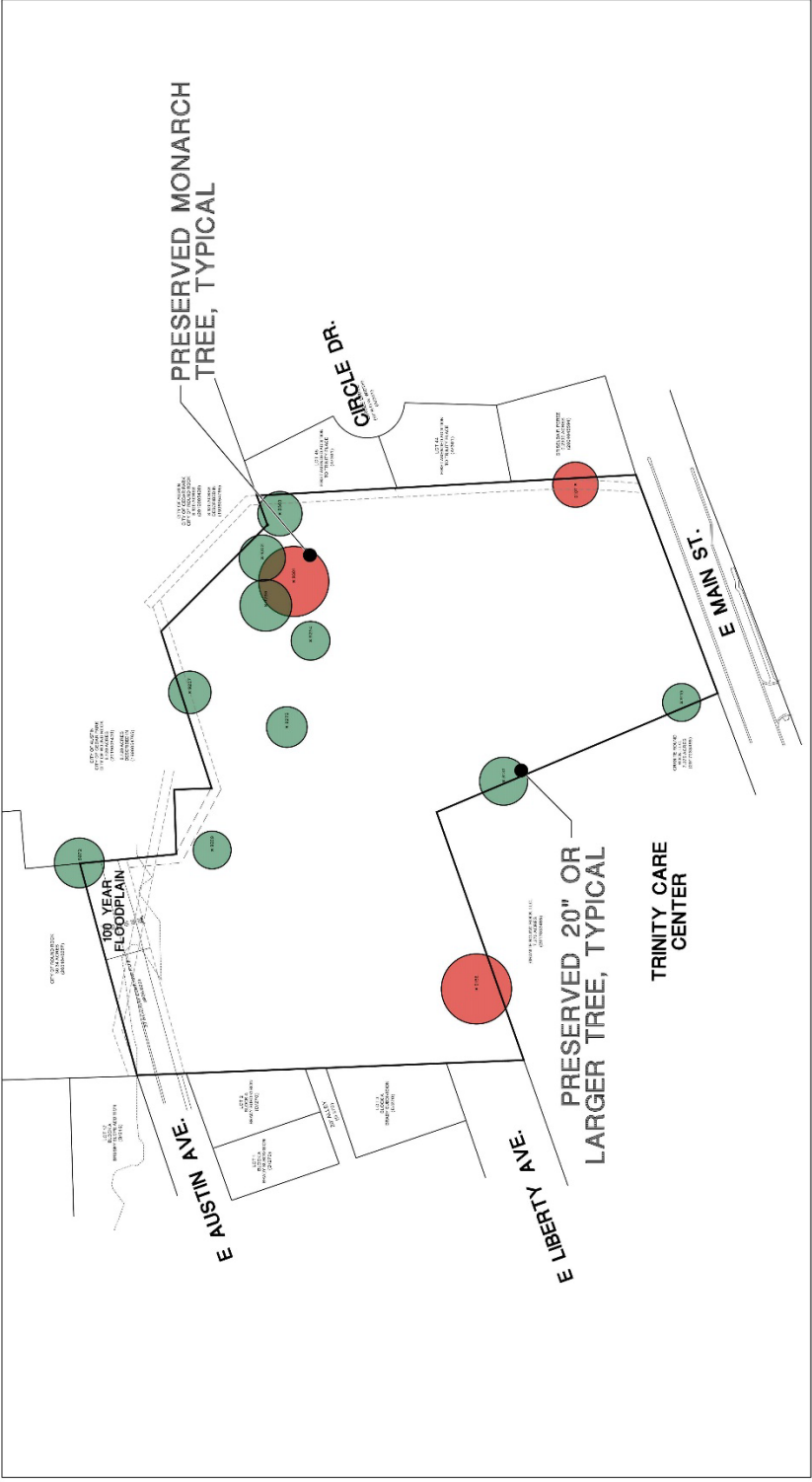
## 7



[illegible]

**EXHIBIT "B"**  
**Prototypical Building**  
**Elevation**








 North
 
 Scale: 1" = 100'

SHEET FILE: C:\2020\FUTX\Cartas\PLANINGS\Juniata\Perseus\_Twp\_2022-01-11.dwg  
 Base mapping compiled from best available information. All map data should be considered as preliminary. In need of verification, and subject to change. This land plan is conceptual in nature and does not represent any regulatory approval. Plan is subject to change.

PRESERVED TREES  
MAIN STREET TOWNHOMES

**PulteGroup, Inc.**  
ROUND ROCK, TEXAS

SEC Planning, LLC

Land Planning + Landscape Architecture + Community Branding

**AUSTIN, TEXAS**  
 817.244.2011  
[www.aed-journal.com](http://www.aed-journal.com) • [info@aed-journal.com](mailto:info@aed-journal.com)