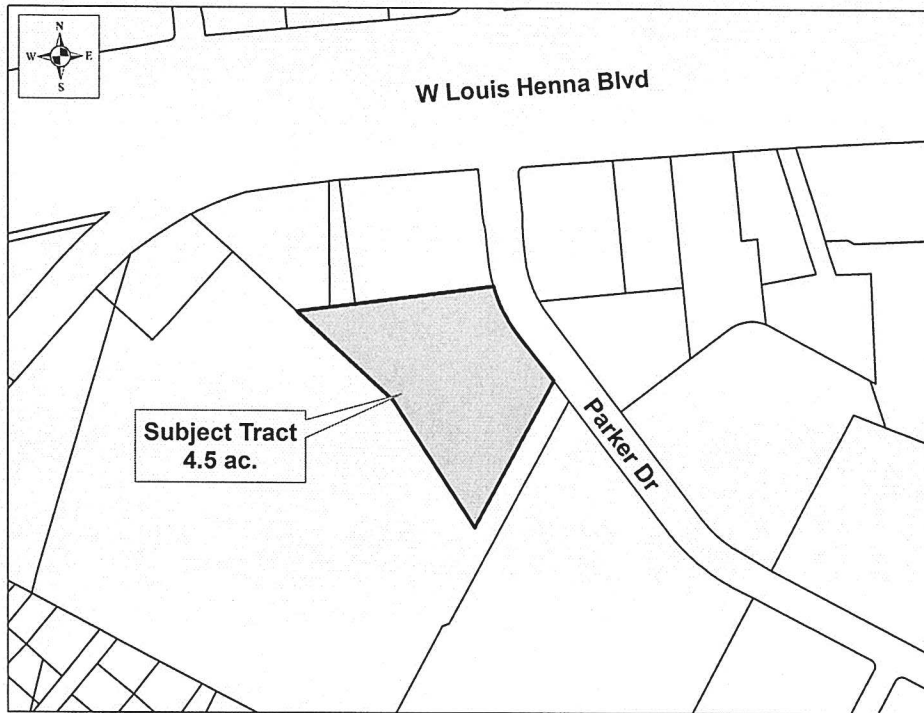


**Parker Subdivision (Minor Plat)**  
**FINAL PLAT    FP1601-001**



**CASE PLANNER:** DAVID FOWLER

**REQUEST:** Minor Plat Approval

**ZONING AT TIME OF APPLICATION:** C-1, General Commercial

**DESCRIPTION:** 4.50 acres out of the Andrew Sprecher Survey No. 101

Abstract No. 719

**CURRENT USE OF PROPERTY:** Vacant

**GENERAL PLAN LAND USE DESIGNATION:** Commercial

**ADJACENT LAND USE:**

North: Commercial

South: Light Industrial

East: Right of Way (Parker Drive)

West: Multifamily

**PROPOSED LAND USE:** Commercial (Hotel)

<u>PROPOSED LOTS BY TYPE:</u>	<u>NUMBER OF LOTS</u>	<u>ACREAGE</u>
Residential - Single Unit:	0	0.00
Residential - Multi Unit:	0	0.00
Office:	0	0.00
Commercial:	2	4.50
Industrial:	0	0.00
Open/Common Space:	0	0.00
ROW:	0	0.00
Parkland:	0	0.00
Other:	0	0.00
<b>TOTALS:</b>	<b>2</b>	<b>4.50</b>

**Owner:**  
TPRR Investments, LTD

10370 Richmond Ave  
Suite 150

**Agent**  
Waeltz & Prete, Inc.  
Antonio Prete  
3000 Joe Dimaggio Blvd., #72  
Round Rock, TX 78665

**Parker Subdivision (Minor Plat)**  
**FINAL PLAT      FP1601-001**

**HISTORY:** The subject lot is not platted. The Planning and Zoning Commission approved the revised preliminary plat for the Parker Subdivision in October 2006. This Preliminary Plat has since expired. The subject plat meets the qualifications of a minor plat.

**DATE OF REVIEW:** February 3, 2016

**LOCATION:** Parker Drive, south of W. Louis Henna Boulevard

**STAFF REVIEW AND ANALYSIS:**

General Plan and Zoning: The site is designated Commercial in the General Plan and the site's Zoning is C-1, General Commercial. The C-1 General Commercial district supports a variety of commercial uses including restaurant, retail, auto sales, office, overnight accommodations, and medical office. The C-1 zoning regulations include landscaping, design standards, and building material requirements to ensure quality and attractive development. In the C-1 district, the exteriors of all buildings must be masonry, except for doors, windows and trim. The zoning and proposed commercial use conform to the General Plan.

Compliance with the Preliminary Plat: The plat is eligible for a minor final plat due to being only two lots and not requiring a traffic impact analysis or any off-site public improvements. The preliminary plat for the Parker Subdivision was last revised in 2006. As such, the preliminary plat is expired and this subdivision is not required to conform to the preliminary plat.

Traffic, Access and Roads: The site is accessed via Parker Drive, which intersects with both W. Louis Henna Boulevard and the Interstate 35 access road. The site has a shared access driveway shared with the Salvation Army site to the north. A Traffic Impact Analysis has been waived for the site.

Water and Wastewater Service: An existing 12" water line is located along the northeast right-of-way line and an existing 12" water line is located along the southeast property line. Wastewater will be accessed via an existing wastewater main which is adjacent to the northeast property line within the right-of-way.

Drainage: Storm water will be detained in the existing regional detention facilities provided within the Corridor Park subdivision. Storm water runoff will be collected and piped into the existing channel to the southeast of lot 4.

Additional Considerations: The site has been proposed for the location of a 100-room Town Place Suites hotel. This hotel would only occupy one of the lots, with an additional hotel possible on the remaining lot.

**RECOMMENDED MOTION:**

Staff recommends approval.

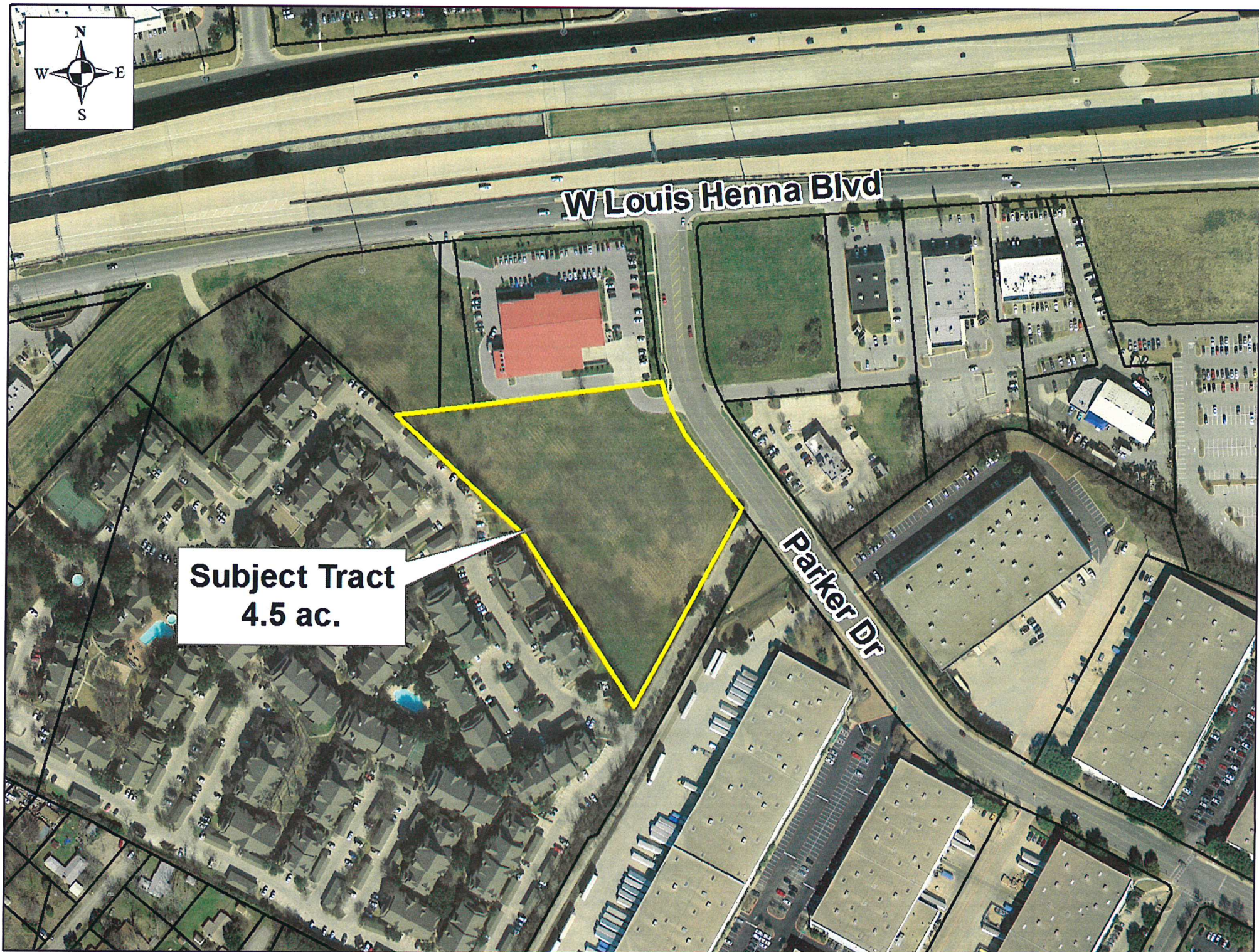




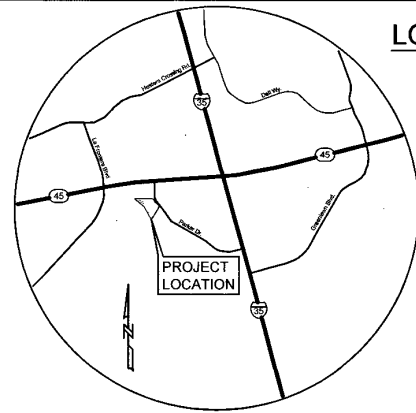
**W Louis Henna Blvd**

**Subject Tract  
4.5 ac.**

**Parker Dr**







## LOCATION MAP NTS

**OWNER:** TPRR INVESTMENTS LTD  
10370 RICHMOND AVE SUITE 150  
HOUSTON, TEXAS 77042

**ACREAGE:** 4.498 ACRE  
**PATENT SURVEY:** ANDREW SPREECHER SURVEY NO. 101,  
ABSTRACT NO. 719

**NUMBER OF BLOCKS:** 1  
**LINEAR FEET OF NEW STREETS:** 0  
**SUBMITTAL DATE:** JANUARY 5, 2016  
**DATE OF PLANNING AND ZONING COMMISSION REVIEW:** FEBRUARY 3, 2016

**ENGINEER:** WAELTZ & PRETE, INC.  
3000 JOE DIMAGGIO BLVD, #72  
ROUND ROCK, TEXAS 78665

**SURVEYOR:** DIAMOND SURVEYING, INC.  
116 SKYLINE ROAD  
GEORGETOWN, TEXAS 78628

**BENCHMARK DESCRIPTION AND ELEVATION:** BENCHMARK NO. 1: CITY OF ROUND ROCK DISK STAMPED CORR-19  
FOUND ON INLET ON THE WEST SIDE OF PARKER DRIVE,  
APPROXIMATELY 628' SOUTH OF THE SOUTH RIGHT-OF-WAY OF STATE  
HIGHWAY 45.  
ELEVATION = 830.65' (NAVD-88)

BENCHMARK NO. 2: MAG NAIL SET ON AN INLET ON THE WEST SIDE OF  
PARKER DRIVE, APPROXIMATELY 280' SOUTH OF THE SOUTH  
RIGHT-OF-WAY OF STATE HIGHWAY 45.  
ELEVATION = 832.75' (NAVD-88)

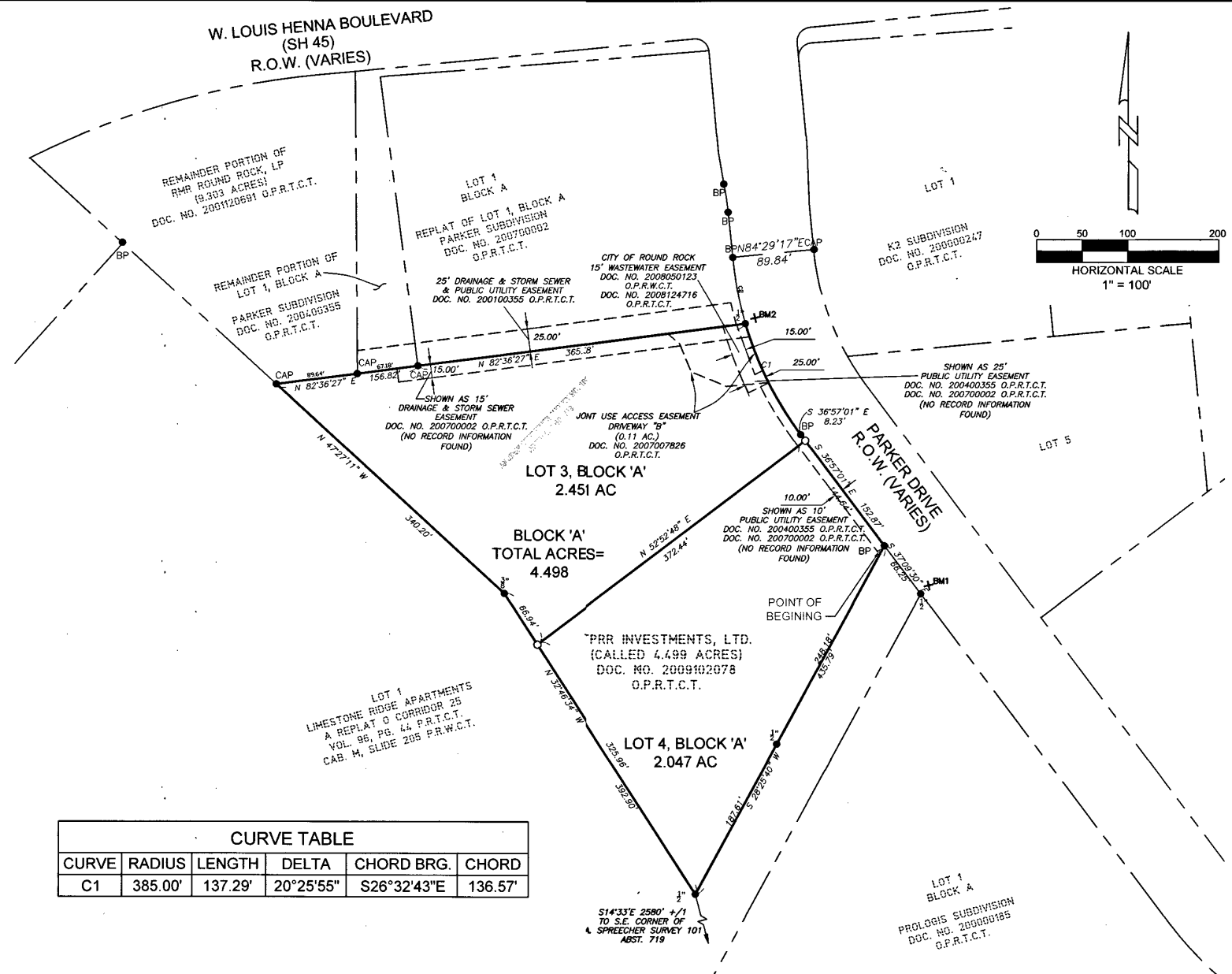
BENCHMARKS BASED ON CITY OF ROUND ROCK GPS POINT 01-001.  
ELEVATION=857.5575' (NAVD-88)

BEARING BASIS: NAD-83, TEXAS CENTRAL (4203), STATE PLANE  
SYSTEM.

**ACREAGE BY LOT TYPE:** 4.498 ACRE DEVELOPMENT  
**NUMBER OF LOTS BY TYPE:** DEVELOPMENT - 2

### PLAT NOTES:

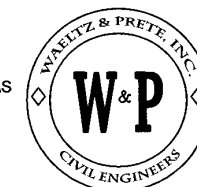
- NO PORTION OF THIS TRACT IS ENCLOSED BY THE ULTIMATE 1% ANNUAL CHANCE FLOODPLAIN.
- NO PORTION OF THIS TRACT IS ENCLOSED BY ANY SPECIAL FLOOD HAZARD AREAS INUNDATED BY THE 1% ANNUAL CHANCE FLOODPLAIN AS IDENTIFIED BY THE U.S. FEDERAL EMERGENCY MANAGEMENT AGENCY BOUNDARY MAP 48453C0260J COMMUNITY PANEL NUMBER 0260, EFFECTIVE DATE AUGUST 18, 2014, FOR TRAVIS COUNTY TEXAS.
- BUILDING SETBACKS SHALL BE IN ACCORDANCE WITH CHAPTER 46, ZONING, CODE OF ORDINANCES, CITY OF ROUND ROCK, TEXAS, 2010 AS AMENDED.
- SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 36, SUBDIVISIONS, CODE OF ORDINANCES, CITY OF ROUND ROCK, TEXAS, 2010, AS AMENDED, AND WITH THE DESIGN AND CONSTRUCTION STANDARDS.
- A TEN FOOT (10') PUE AND SIDEWALK EASEMENT ABUTTING AND ALONG THE STREET SIDE PROPERTY LINE IS HEREBY DEDICATED FOR ALL STREET SIDE PROPERTY LOTS SHOWN HEREON.
- NO OBSTRUCTIONS, INCLUDING BUT NOT LIMITED TO FENCING OR STORAGE, SHALL BE PERMITTED IN ANY DRAINAGE EASEMENTS SHOWN HEREON.



CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BRG.	CHORD
C1	385.00'	137.29'	20°25'55"	S26°32'43"E	136.57'

- LEGEND**
- 3" IRON ROD FOUND 3"
  - 2" IRON ROD FOUND 2"
  - CAP IRON ROD FOUND WITH CAP
  - BA IRON ROD FOUND WITH CAP MARKED "BAKER-AICKLEN"
  - BP IRON ROD FOUND WITH CAP MARKED "BURY PARTNERS"
  - IRON ROD SET WITH CAP MARKED "DIAMOND SURVEYING"
  - BM + BENCHMARK
  - P.O.B. POINT OF BEGINNING
  - R.O.W. RIGHT-OF-WAY
  - ADJOINING BOUNDARY LINE
  - PROPERTY BOUNDARY
  - - - EASEMENT LINE
  - RIGHT-OF-WAY TIE LINE
  - R.P.R.T.C.T. REAL PUBLIC RECORDS TRAVIS COUNTY, TEXAS
  - P.R.T.C.T. PUBLIC RECORDS TRAVIS COUNTY, TEXAS
  - O.P.R.T.C.T. OFFICIAL PUBLIC RECORDS TRAVIS COUNTY, TEXAS
  - P.R.W.C.T. PUBLIC RECORDS WILLIAMSON COUNTY, TEXAS
  - O.P.R.W.C.T. OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY, TEXAS

**DIAMOND SURVEYING, INC.**  
116 SKYLINE ROAD, GEORGETOWN, TEXAS 78628  
(512) 931-3109



## FINAL PLAT PARKER SUBDIVISION PAGE 1 OF 2

**WAELTZ & PRETE, INC.**  
CIVIL ENGINEERS

3000 JOE DIMAGGIO BLVD. #72  
ROUND ROCK, TX. 78665  
PH (512) 505-8953  
FIRM TX. REG. #F-10308

METES AND BOUNDS DESCRIPTION:

FOR A 4.498 ACRE TRACT OF LAND IN THE ANDREW SPREECHER SURVEY NO. 101, ABSTRACT NO. 719, TRAVIS COUNTY, TEXAS, BEING ALL OF A CALLED 4.499 ACRE TRACT OF LAND DESCRIBED IN A WARRANTY DEED AND BILL OF SALE TO TPRR INVESTMENT, LTD., RECORDED IN DOCUMENT NO. 2009102078 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS. SAID 4.498 ACRE TRACT OF LAND SURVEYED ON THE GROUND BY DIAMOND SURVEYING, INC. DURING THE MONTH OF DECEMBER 2015, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at an iron rod with cap marked "Bury Partners" (Surface Coordinates: N=10,148,597.31, E=3,132,675.23, Project scale factor = 1.00011) monumenting the southeast corner of said 4.499 acre tract and an angle point in the east line of Lot 1, Limestone Ridge Apartments A Replat of Corridor 25, recorded in Volume 96, Page 44 of the Plat Records of Travis County, Texas and in Cabinet M, Slide 205 of the Plat Records of Williamson County, Texas, same being a point in the westerly right-of-way line of Parker Drive, a variable width right-of-way for the southeast corner and POINT OF BEGINNING hereof, from which a 1/2" iron rod found monumenting an angle point in the east line of said Lot 1, Limestone Ridge Apartments and the northeast corner of Lot 1, Block "A", Prologis Subdivision, recorded in Document No. 200000185 of the Official Public Records of Travis County, Texas, bears S37°09'30"E a distance of 66.25 feet;

THENCE departing said westerly right-of-way line of Parker Drive, S28°25'40"W with the south boundary line of said 4.499 acre tract and a north boundary line of said Lot 1, Limestone Ridge Apartments for a distance of 435.79 feet to a 1/2" iron rod found, monumenting an angle point in said Lot 1, Limestone Ridge Apartments, the southwest corner of said 4.499 acre tract and the southwest corner hereof;

THENCE with the west boundary line of said lot 4.499 acre tract and the east boundary line of said Lot 1, Limestone Ridge Apartments the following two (2) courses and distances:

1. N32°46'34"W for a distance of 392.90 feet to a 3/8" iron rod found;
2. N47°27'11"W for a distance of 340.20 feet to an iron rod found with cap marked "5409" (Surface Coordinates N=10148774.46, E=3132004.44) monumenting the southwest corner of the remainder portion of a called 9.303 acre tract of land described in a Special Warranty Deed to RMR Round Rock, LP, recorded in Document No. 2001120691 of the Official Public Records of Travis County, Texas, the northwest corner of said 4.499 acre tract and the northwest corner hereof;

THENCE departing the east boundary line of said Lot 1, Limestone Ridge Apartments, N82°36'27"E with the north boundary line of said 4.499 acre tract and the south boundary line of said remainder of 9.303 acre tract passing at a distance of 89.64 feet an iron rod found with cap marked "5094", in all a total distance of 156.82 feet to an iron rod found with cap marked "5835" monumenting the southwest corner of Lot 1, Block A, Replat of Lot 1, Block "A", Parker Subdivision, recorded in Document No. 200700002 of the Official Public Records of Travis County, Texas, same being an angle point in the north boundary line of said 4.499 acre tract and the north line hereof;

THENCE with the south boundary line of said Lot 1, Block "A", Replat of Lot 1, Block "A", Parker Subdivision and the north boundary line of said 4.499 acre tract N82°36'27"E a distance of 365.38 feet to a 1/2" iron rod found in the curving west right-of-way line of said Parker Drive, monumenting the southeast corner of said Lot 1, Block "A", Replat of Lot 1, Block "A", Parker Subdivision, the northeast corner of said 4.499 acre tract and the northeast corner hereof, from which an iron rod found with cap marked "Bury Partners" in the west right-of-way line of said Parker Drive and the east boundary line of said Lot 1, Block "A", Replat of Lot 1, Block "A", Parker Subdivision monumenting the beginning of said curve bears N10°37'36"E a distance of 74.25 feet;

THENCE with the west right-of-way line of said Parker Drive and the east boundary line of said 4.499 acre tract, the following two (2) courses and distances:

1. With the arc of a curve to the left, having a radius of 385.00 feet, an arc distance of 137.29 feet, a central angle of 20°25'55", and a chord bearing of S26°32'43"E for a distance of 136.57 feet to an iron rod found with cap marked "Bury Partners", monumenting the end of this curve hereof;
2. S36°57'01"E a distance of 152.87 feet to the POINT OF BEGINNING hereof and containing 4.498 acres of land more or less.

COUNTY CLERK:

STATE OF TEXAS §  
COUNTY OF TRAVIS §

I, Dana DeBeauvoir, Clerk of Travis County, Texas, do hereby certify that the foregoing instrument of writing and its certificate of authentication was filed for record in my office on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, A.D. at \_\_\_\_ o'clock, \_\_\_\_m., duly recorded on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, A.D. at \_\_\_\_ o'clock \_\_\_\_m., of said county and state in document number \_\_\_\_\_ official public records of Travis County.

Witness my hand and seal of office of the county clerk, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, A.D.

Dana DeBeauvoir, County Clerk  
Travis County, Texas

Deputy

ENTITY:

STATE OF TEXAS §  
COUNTY OF TRAVIS §

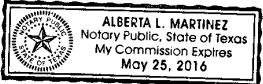
That TPRR Investments LTD, a Texas Limited Company, as the owner of that certain 4.498 acre tract of land recorded in document number 2009102078, of the Official Records of Travis County, Texas do hereby certify that there are no lien holders and dedicate to the public forever use of the streets, alleys, easements and all other lands for public dedication as shown hereon to be known as Parker Subdivision.

*Michael V. Harrell*  
TPRR Management, LLC  
Its General Partner  
By: Michael V. Harrell, President  
10370 Richmond Ave, Suite 150  
Houston, Texas 77042

STATE OF TEXAS §  
COUNTY OF TRAVIS §

This instrument was acknowledged before me on the 15<sup>th</sup> day of January, 2016 by *Michael Harrell*, as *President* of *TPRR Management* a state of Texas *LLC*, on behalf of said *TPRR Investments LTD*

Notary Public, State of Texas  
Printed Name: *Alberta L. Martinez*  
My commission expires: *May 25, 2016*



SURVEYOR'S CERTIFICATE:

STATE OF TEXAS §  
COUNTY OF TRAVIS §

That I, Shane Shafer, do hereby certify that I prepared this plat from an actual and accurate on-the-ground survey of the land and that the corner monuments shown thereon were properly found or placed under my personal supervision, in accordance with Chapter 36, Subdivisions, Code of Ordinances, City of Round Rock, 2010 Edition as amended.

*Shane Shafer*  
SHANE SHAFER, RPLS  
REGISTRATION #5281  
DIAMOND SURVEYING, INC.  
116 SKYLINE ROAD  
GEORGETOWN, TEXAS



ENGINEER'S CERTIFICATE:

STATE OF TEXAS §  
COUNTY OF TRAVIS §

That I, Antonio A. Prete, P.E., do hereby certify that the information contained on this plat complies with Chapter 36, Subdivisions, Code of Ordinances, City of Round Rock, 2010 Edition as amended, and the Design and Construction Standards adopted by the City of Round Rock, Texas.

*A. A. Prete* 14 Jan 16  
ANTONIO A. PRETE, P.E.  
LICENSE #93759  
WAELTZ & PRETE, INC.  
3000 JOE DIMAGGIO BLVD. #72  
ROUND ROCK, TEXAS 78665



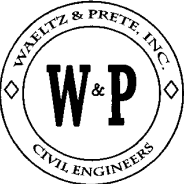
CITY OF ROUND ROCK CERTIFICATION AND SIGNATURE BLOCK:

Approved this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by the City Planning and Zoning Commission of the City of Round Rock, Texas, and authorized to be filed for record by the County Clerk of Travis County, Texas.

The property covered by this Plat is within the City Limits of the City of Round Rock.

DAVID PAVLISKA, CHAIRMAN

FINAL PLAT  
PARKER SUBDIVISION  
PAGE 2 OF 2



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