

**DEVELOPMENT PLAN
COTTAGES AT MEADOW LAKE
PLANNED UNIT DEVELOPMENT NO. 109**

THE STATE OF TEXAS §
COUNTY OF WILLIAMSON §

THIS DEVELOPMENT PLAN (this “**Plan**”) is adopted and approved by the CITY OF ROUND ROCK, TEXAS (hereinafter referred to as the “**City**”). For purposes of this Plan, the term **Owner** shall mean Quick Lake Properties, LLC; as their respective interests may appear in the respective portions of the hereinafter described property; and their respective successors and designated assigns. Upon sale, transfer or conveyance of portions of the hereinafter described property by a respective Owner to a designated third party owner/developer, the duties and obligations of the respective Owner, as it relates to the respective property being sold, shall be assigned to and assumed by the new owner/developer, and upon such sale and assignments of the duties and obligations hereunder, the respective Owner shall have no further liability relating to the respective property so sold and conveyed.

NOW THEREFORE:

I.

GENERAL PROVISIONS

1. CONFORMITY WITH DEVELOPMENT STANDARDS

That all uses and development within the Property shall conform to the Development Standards included in Section II herein.

2. CHANGES AND MODIFICATIONS

No changes or modifications will be made to this Plan unless all provisions pertaining to changes or modifications as stated in Section II. 10.

3. ZONING VIOLATION

Owner understands that any person, firm, corporation or other entity violating any conditions or terms of the Plan shall be subject to any and all penalties for the violation of any zoning ordinance provisions as stated in Section 1-9, Code of Ordinances, City of Round Rock, Texas, as amended.

4. MISCELLANEOUS PROVISIONS

4.1. Severability

In case one or more provisions contained of this Plan are deemed invalid, illegal or unenforceable in any respect such invalidity, illegality or unenforceability shall not affect any other provisions of this Plan and in such event, this Plan shall be construed as if such invalid, illegal or unenforceable provision had never been contained in this Plan.

4.2 Venue

All obligations of the Plan are performable in Williamson County, Texas, and venue for any action shall be in Williamson County.

4.2. Effective Date

This Plan shall be effective from and after the date of approval by the City Council.

II.

DEVELOPMENT STANDARDS

1. DEFINITIONS

Words and terms used herein shall have their usual force and meaning, or as defined in the City of Round Rock Code of Ordinances, as amended, hereinafter referred to as “the Code.”

2. PROPERTY

This Plan covers approximately 15.152 acres of land, more particularly described in **Exhibit “A”**.

3. PURPOSE

The purpose of this Plan is to ensure a PUD that: 1) is equal to, superior than and/or more consistent than that which would occur under the standard ordinance requirements, 2) is in harmony with the General Plan, as amended, 3) does not have an undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utilities or any other matters affecting the public health, safety and welfare, 4) is adequately provisioned by essential public facilities and services, and 5) will be developed and maintained so as not to dominate, by scale or massing of structures, the immediate neighboring properties or interfere with their development or use.

4. APPLICABILITY OF CITY ORDINANCES

4.1. Zoning Ordinance

All aspects not specifically covered by this Plan shall be regulated by the **TH (Townhouse)** zoning district, as amended. If there is a conflict between this Plan and the Code, this Plan shall supersede the specific conflicting provisions of the Code.

4.2. Other Ordinances

All other Ordinances within the code, as applicable and as amended, shall apply to the property, except as clearly modified by this Plan. In the event of a conflict, the terms of this Plan shall control.

5. PROJECT OVERVIEW

5.1. Purpose of Plan

The purpose of the Plan is to provide a single family residential development on a common lot. Private drive aisles will provide access to the units.

5.2. Concept Plan

This Plan, as depicted in **Exhibit “B”**, shall serve as the Concept Plan required by Section 36-39 of the Code.

5.3. Land Use

- (1) The residential housing types shall be single family detached units on a common lot, with each dwelling unit having a private entrance, private parking and a private yard area.
- (2) Access shall be provided via private drive aisles, as described in Section 6.7 below.
- (3) All dwelling units shall be established as condominium units, pursuant to the Texas Uniform Condominium Act, Section 82.001 et. seq., Texas Property code.
- (4) A maximum of 33 units shall be permitted.

5.4. Access from Settlement Drive

- (1) The primary entrance to the property shall be from Settlement Drive, a public street, crossing City owned park property, as identified in **Exhibit “A-1”**. The general location of the access point is indicated on **Exhibit “B”**.
- (2) A separate agreement with the City will be required in order to cross the City owned park property. Prior to obtaining the agreement, the Owner shall prepare a site plan for approval by the City indicating all improvements to be located on the City property, including the drive aisle, sign(s), and landscaping.
- (3) All improvements located on the City property shall be maintained by the homeowner’s association.

5.5. Access from Meadow Park Drive

- (1) The emergency access to the property shall be from Meadow Park Drive, a public street, indicated on **Exhibit “B”**.
- (2) Access shall be gated and locked according to the City’s standards for emergency vehicle access, including a “Knox” lock.

6. DEVELOPMENT STANDARDS

6.1. Exterior Finish Materials & Front Elevations

- (1) The front elevations of all units shall substantially conform to the elevations in **Exhibit “F”**.
- (2) The exterior finish of all units shall include cementitious siding; masonry, defined as: stone, simulated stone, brick or a minimum of 2-step hard coat stucco; and a variety of architectural projections, as depicted in **Exhibit F**.
- (3) Adjacent units and units located directly across the private drive aisle from one another will vary with respect to color scheme, masonry type and cementitious siding style and patterns.

6.2. Garage Door Treatment

An upgraded garage door, in accordance with **Exhibit “F”**, shall be required.

6.3. Yard Fencing

Single family unit fencing shall be constructed of the following materials: brick, stone, reinforced concrete, decorative masonry, wrought iron, tubular steel, redwood or cedar with a picket size of 1” x 6” with metal posts and treated rails, or other equivalent materials approved by the Zoning Administrator.

6.4. Perimeter Fencing

- (1) The location and types of the required perimeter fencing associated with the single family units along the perimeter, excluding private open space and detention areas, are indicated on **Exhibit “C”**. The types of perimeter fencing are:
 - (a) 6-foot masonry - in compliance with Section 36-116 of the Code.
 - (b) 6-foot decorative metal, with masonry columns at every 100 linear feet on center.
 - (c) 4-foot decorative metal, with masonry columns at every 100 linear feet on center.
 - (d) 6-foot wood: Cedar privacy fence with a picket size of 1” x 6”, a top cap, treated rails and metal posts; the finished side shall face the abutting properties.

6.5. Building Setbacks & Height Limits

- (1) The setbacks for any lot on which multiple residential units are located shall be:
 - (a) 10' from public open space
 - (b) 15' from the SF-2 (Single Family – Standard Lot) zoned parcel to the north.
- (2) Any unit which abuts the SF-2 zoned parcel to the north, without an intervening private drive aisle, shall be one story.

6.6. Parking

- (1) A total of 4 parking spaces per unit are required:
 - (a) 2 garage enclosed parking spaces;
 - (b) 2 parking spaces located in front of the garage and outside of the private access drive. Parking spaces shall measure 9' x 18';
- (2) Guest parking shall be provided at the rate of 1 guest space for every 3 units. A guest parking space shall be located within 300' of each residential unit.

6.7. Private Drive Aisles & Sidewalks

- (1) A minimum width of 27' from 'face of curb to face of curb' - parallel parking is to be prohibited on both sides in order to provide for emergency access.
 - (a) Subgrade to be approved by the City of Round Rock according to the Transportation Manual, Section 3 – Pavement Design
 - (b) A private home owners association will be established for the maintenance of the private drive aisles.
- (2) An internal walkway, consisting of a four-foot (4') wide sidewalk shall be included, as depicted on **Exhibit "D"**.

6.8. Amenity Center

- (1) An amenity center will be provided at the general location depicted on **Exhibit "D"**. The amenity center shall include the following:
 - (a) Covered pavilion of 500 sq. ft., built with stone and cementitious siding and a composite shingle or metal roof, in substantial compliance with the schematic in **Exhibit "D-1"**.
 - (b) Picnic benches and a barbecue grill

- (c) Mail kiosk, integrated into the building design
- (d) Swimming pool
- (e) Decorative landscaping

6.9. Landscaping

- (1) The landscape development standards outlined in Section 46-195, Landscaping, shall apply, with the following modifications:
 - (a) All development areas, including residential, which include turf shall utilize Drought Tolerant Turf Grasses, as defined by the Code.
 - (b) Plant material shall be of a native and/or adapted species, including those selected from *Native and Adapted Landscape Plants, an Earth-Wise Guide for Central Texas*, created by the Texas cooperative Extension, Grow Green and the Lady Bird Johnson Wildflower Center.
 - (c) Each single family dwelling unit shall be provided with a minimum of two (2) two-inch (2") caliper large species trees, whether through the preservation of existing trees or planting of two-inch (2") caliper container-grown trees.
- (2) A private home owners association will be established for the maintenance of any landscape and irrigation areas located between the private drive lanes and single family units as well as for all community signage, walls, medians, and common open spaces.

7. PARKLAND DEDICATION

The parkland requirement of Chapter 36, Article III of the Code shall be met by the dedication of hike and bike trail easement and the construction of a hike and bike trail, as indicated on **Exhibit "E"**. The hike and bike trail shall be subject to the City's design and construction standards and acceptance of the facility shall be subject to the approval of the City.

8. CONSTRUCTION TRAFFIC

- 8.1.** During construction of the site improvements and the homes, construction vehicles will be directed to use the entrance to the site from Settlement Drive only.
- 8.2.** Owner shall post signs at the entrance to Meadow Park Drive stating "NO CONSTRUCTION VEHICLES" during the period of construction.

9. CHANGES TO DEVELOPMENT PLAN

9.1. Minor Changes

Minor changes to this Plan which do not substantially and adversely change this Plan may be approved administratively, if approved in writing by the Director of Planning and Development Services and the City Attorney.

9.2. Major Changes

All changes not permitted above shall be resubmitted following the same procedure required by the original PUD application.

LIST OF EXHIBITS

Exhibit “A”	Survey Field Notes - Property
Exhibit “A-1”	Survey Field Notes - Access Easement
Exhibit “B”	Concept Plan
Exhibit “C”	Perimeter Fencing
Exhibit “D”	Internal Sidewalk
Exhibit “D-1”	Amenity Center Building
Exhibit “E”	Hike & Bike Trail Public Easement
Exhibit “F”	Front Elevations

EXHIBIT A

15.152 Acres

George W. Glasscock Survey, Abstract No. 267

16507.10

Page 1 of 2

April 7, 2016

STATE OF TEXAS

§

§

COUNTY OF WILLIAMSON

§

FIELDNOTE DESCRIPTION of a 15.152 acre tract out of the George W. Glasscock Survey, Abstract No. 267 Williamson County, Texas, being a portion of that certain Tract II (75 acres), conveyed to Marjorie B. Quick and Edward D. Quick, Trustee of the Eugene O. Quick Family Trust, by deed recorded in Document No. 2005092614 of the Official Public Records of Williamson County Texas; the said 15.152 acre tract is more particularly described by metes and bounds as follows:

BEGINNING at a cotton gin spindle, found in concrete, at the northwest corner of the said Tract II, being on the easterly right-of-way line of the Settlement Drive (60' right-of-way) as dedicated by plat in Cabinet I, Slide 166 of the plat records of Williamson County Texas, same being the southwesterly corner of Lot 7, Block V, Meadow Lake, Section Six, a subdivision recorded in Cabinet I, Slide 166, of the said Plat Records and the most northerly corner of Lot 2, Block E, The Settlement, Section Three, a subdivision recorded in Cabinet H, Slide 320 of the said Plat Records;

THENCE, N68°41'17"E, leaving the easterly right-of-way line of Settlement Drive, with the southerly line of said Meadow Lake, Section Six and northerly line of said Tract II, passing at 114.37 feet a 1/2" iron rod, found 0.12 feet north of the southeasterly corner of said Lot 7 and the southwesterly corner of Lot 5, Block V of said Meadow Lake, Section Six, passing at 224.90 feet a 1/2" iron rod, found 0.63 feet north of the southeasterly corner of said Lot 5 and the southwesterly corner of Meadow Park Drive (50' right-of-way), dedicated in said Meadow Lake, Section Six, passing at 274.37 feet, a 1/2" iron rod, with plastic cap (no marking), found for the southeasterly corner of Meadow Park Drive and the southwesterly corner of Lot 18, Block I, of said Meadow Lake, Section Six, passing at 449.70 feet a 1/2" iron rod found for the southeasterly corner of said Lot 18 and the southwesterly corner of that certain 43.524 acre tract conveyed to the City of Round Rock by deed, recorded in Document No. 1997030900, of the Official Public Records of Williamson County, Texas, for a total distance of 916.03 feet, to the calculated point of curvature (under water) of a non-tangent curve to the right, for the northeasterly corner;

THENCE, leaving the southerly line of said 43.524 acre tract, across said Tract II, being also across the inundated area of Floodwater Retarding Structure No. 14 in Upper Brushy Creek Watershed, as recorded in Cabinet A, Slide 321 of the said Plat Records, with the said non-tangent curve to the right, having a central angle of 90°08'05", a radius of 916.03 feet, a chord distance of 1296.98 feet (chord bears S23°45'19"W), for an arc distance of 1441.05 feet to the calculated point of non-tangency, being on the common westerly line of the said Tract II and easterly line of aforesaid Lot 2;

EXHIBIT A

15.152 Acres

George W. Glasscock Survey, Abstract No. 267

16507.10

Page 2 of 2

April 7, 2016

THENCE, N21°10'38"W, with the common westerly line of said Tract II and easterly line of said Lot 2, passing at 406.03 feet a 1/2" inch iron rod, with plastic cap marked "Capital Surveying Company, Inc.", set for a point of reference, for a total distance of 916.03 feet to the POINT OF BEGINNING, CONTAINING within these metes and bounds 15.152 acres of land area.

Basis of Bearing is the Texas State Plane Coordinate System, Central Zone, NAD83 (Grid).

I, Blaine J. Miller, a Registered Professional Land Surveyor, do hereby certify that the above description is true and correct to the best of my knowledge and that the property described herein was determined by a survey made on the ground under my direction and supervision.

WITNESS MY HAND AND SEAL at Austin, Travis County, Texas, this the 7th day of April, 2016.



Blaine J. Miller
Registered Professional Land Surveyor
No. 5121 State of Texas

LOCATION MAP
NOT TO SCALE

LEGEND

- OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY
WILLIAMSON COUNTY PLAT RECORDS
CABINET
SILE
()
()
()
()
D/R
D/R
C/W
CLEANOUT
● IRON ROD FOUND
● IRON ROD WITH CAP MAILED
CANTON SURVEYING CO. INC.
▲ CALCULATED POINT
○ COTTON WIRE FOUND IN CONCRETE
● FIRE HYDRANT
WATER VALVE
WATER METER
SPRINKLER CONTROL VALVE
● WASTEWATER MANHOLE
WOOD FENCE
SHINGLE WIRE (LOW) FENCE
BARBED WIRE FENCE
WOODPOST IRON FENCE
SIGN
— BREAK IN SCALE

That I, Blaine J. Miller, a Registered Professional Land Surveyor do hereby certify to Stewart Title Guaranty Company, Georgetown Title Company, Inc., Marilyn Quick Richardson, that the above map or plat is true and correct to the best of my knowledge and that the property described hereon was determined from an actual survey on the ground under my direction and supervision.

This survey substantially complies with the current Texas Society of Professional Surveyors Standards and Specifications for a Category 1A.

Witness my Hand and Seal at Austin, Travis County, Texas this the 7th day of April, 2016.

Blaine J. Miller
BLAINE J. MILLER
Registered Professional Land Surveyor
No. 5121 - State of Texas



(43.524 AC.)
CITY OF ROUND ROCK
DOC. NO. 1997030900
O.P.R.W.C.

THOMAS TOBY SURVEY NO. 200
ABSTRACT NO. 624

GEORGE W. GLASSCOCK SURVEY
ABSTRACT NO. 267

FLOOD PLAIN NOTE:
ACCORDING TO "FLOOD INSURANCE MAP, PANEL
#48491C0495, E. DATED SEPTEMBER 26, 2008 FOR
WILLIAMSON COUNTY, TEXAS AND INCORPORATED AREAS,
ISSUED BY THE FEDERAL EMERGENCY MANAGEMENT
AGENCY, A PORTION OF THIS TRACT IS IN ZONE "A".
(AREAS DETERMINED TO BE WITHIN THE 100 YEAR FLOOD
PLAIN WITH NO BASE FLOOD ELEVATIONS DETERMINED).
NOTE: NEW FEMA MAPS ARE CURRENTLY UNDER REVIEW,
WHICH COULD CHANGE THE FLOODPLAIN STATUS OF THIS
TRACT.

NOTE 1: THE UPPER BRUSHY CREEK WATERSHED, SITE NO. 14, PLAT RECORDED IN CABINET A, SLIDE 321 OF THE PLAT RECORDS OF WILLAMSON COUNTY, TEXAS, SHOWS THE LOCATION OF THE SPILLWAY AS BEING 2' ABOVE THE SPILLWAY CREST ELEVATION. THE CURRENT SPILLWAY CREST ELEVATION IS 722.0 FEET OF DAM IS 722.0". THIS GIVES A "SPILLWAY CREST PLUS 2 FEET" ELEVATION OF 724.0". THE CURRENT ELEVATION, LOOKING DOWN THE CREEK, OBTAINED AS PART OF A SITE TOPOGRAPHY SURVEY DONE CONCURRENTLY WITH THE BOUNDARY SURVEY, OF THE SPILLWAY, IS BASED ON NAVS84 DATUM OBTAINED FROM GPS OBSERVATION.

NOTE 2: APPEARS TO BE THE POWER LINE SHOWN ON SOUTH SIDE OF POND #14 ON PLAT RECORDED IN CABINET A, SLIDE 321 OF THE PLAT RECORDS OF WILLAMSON COUNTY PLAT RECORDS.

NOTE 3: DESCRIPTION OF POWER LINE IS 61' NORTH OF THE SOUTH PROPERTY LINE OF TRACT A (7.5 ACRES).

NOTE 4: BASES OF BEARING IS THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD 83, GRS.

NOTE 5: BASED AVERAGE ON 7th April, 2016.

1842 Old Settlers Blvd.
15.152 ACRES
(Portion of Tract II)

CSCI		CAPITAL SURVEYING COMPANY INCORPORATED	
832 Capital at Texas Highway South Austin, TX Suite 115 Austin, Texas 78748 (512) 327-6006		FIRM REGISTRATION NO. 107-287-01	
DRAWN BY:	SUM	SCALE: 1" = 40'	F.B.
JOB NO.: 16507.10		DATE: APRIL 6, 2016	SHEET NO.:
ESTABLISHED: N/A - EXISTING	OWN. &		

EXHIBIT A

EXHIBIT A-1

0.0034 Acres

George W. Glasscock Survey, Abstract No. 267

16507.70

Page 1 of 2

August 17, 2016

STATE OF TEXAS

§

§

COUNTY OF WILLIAMSON

§

FIELDNOTE DESCRIPTION, to accompany sketch, of a 0.0034 (148 square feet) acre tract out of the George W. Glasscock Survey, Abstract No. 267, Williamson County, Texas, being a portion of Lot 2, Block E, The Settlement, Section Three, a subdivision recorded in Cabinet H, Slide 320 of the Plat Records of Williamson County Texas; the said 0.0034 acre tract is more particularly described by metes and bounds as follows:

BEGINNING at a cotton gin spindle, found in concrete, for the most northerly corner of said Lot 2, Block E, The Settlement, Section Three subdivision, being the northwest corner of the that certain 75 acre tract, described as Tract II, conveyed to Marjorie B. Quick and Edward D. Quick, Trustees of the Eugene O. Quick Family Trust, recorded in Document No. 2005092614 of the Official Public Records of Williamson County, Texas, a point on the easterly right-of-way line of Settlement Drive (60' right-of-way) as dedicated by plat in Cabinet I, Slide 166 of the said Plat Records, same being the southwesterly corner of Lot 7, Block V, Meadow Lake, Section Six, a subdivision recorded in Cabinet I, Slide 166, of the said Plat Records;

THENCE, S21°10'38"E, leaving the easterly right-of-way line of Settlement Drive, with the common easterly line of said Lot 2, Block E and westerly line of said Tract II, for a total distance of 44.00 feet, to the calculated the southeasterly corner herein described tract, from which a 1/2" iron rod found for the southwest corner of said Tract II bears S21°10'38"E, 2013.69 feet;

THENCE, S68°41'14"W, leaving the westerly line of said Tract II, across said Lot 2, Block E for a distance of 7.35 feet to the point of curvature of a non-tangent curve to the left on the common westerly line of the said Lot 2, Block E and easterly right-of-way line of aforesaid Settlement Drive;

THENCE, along the common west line of said Lot 2, Block E and easterly right-of-way line of Settlement Drive, with the said non-tangent curve to the left, having a central angle of 04°53'11", a radius of 523.44 feet, a chord distance of 44.63 feet (chord bears N11°41'46"W), for an arc distance of 44.64 feet to POINT OF BEGINNING, CONTAINING within these metes and bounds 0.0034 acres (148 square feet) of land area.

Basis of Bearing is the Texas State Plane Coordinate System, Central Zone, NAD83 (Grid).

I, Blaine J. Miller, a Registered Professional Land Surveyor, do hereby certify that the above description is true and correct to the best of my knowledge and that the property described herein was determined by a survey made on the ground under my direction and supervision.

WITNESS MY HAND AND SEAL at Austin, Travis County, Texas, this the 17th day of August, 2016.



Blaine J. Miller

Blaine J. Miller

Registered Professional Land Surveyor

No. 5121 State of Texas

**SKETCH OF A 0.0034 (148 sq. ft.)
ACRE TRACT TO ACCOMPANY A
DESCRIPTION OUT OF THE
GEORGE W. GLASSCOCK SURVEY,
ABSTRACT No. 267
WILLIAMSON COUNTY, TEXAS**

N.B. ANDERSON
SURVEY
ABST. NO. 29

APPROX. LOCATION SURVEY LINE

GEORGE W. GLASSCOCK
SURVEY
ABST. NO. 267

0.0034 ACRES
(148 sq. ft.)

THE SETTLEMENT,
SECTION THREE
CAB. H, SLIDE 320
W.C.P.R.

SETTLEMENT DR.
(CAB. H, SLD. 320)

$\Delta=04^{\circ}53'11''$
 $R=523.44'$
 $A=44.64'$
 $Cb=N11^{\circ}41'46''W$
 $C=44.63'$

$\Delta=58^{\circ}30'49''$
 $R=523.44'$
 $A=534.57'$
 $Cb=S15^{\circ}07'03''W$
 $C=511.64'$

$(\Delta=58^{\circ}32'49'')$
 $(R=523.44')$
 $(A=534.87')$
 $(Cb=S17^{\circ}11'36''W)$
 $(C=511.90')$

LOT 7

MEADOW LAKE,
SECTION SIX
CAB. I, SLIDE 166
W.C.P.R.

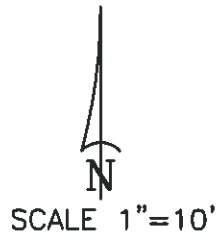
BLOCK "V"

P.O.B.

$N68^{\circ}41'17''E$ 1542.00'
 $(N71^{\circ}E$ 1542' (555 varas))

TRACT II
(75 ACRES)

MARJORIE B. QUICK AND
EDWARD D. QUICK, TRUSTEES,
OF THE EUGENE O. QUICK
FAMILY TRUST
DOC. NO. 2005092614
O.P.R.W.C.



SCALE 1"=10'

LEGEND

O.P.R.T.C.	OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY
W.C.P.R.	WILLIAMSON COUNTY PLAT RECORDS
()	RECORD INFORMATION
P.O.B.	POINT OF BEGINNING
R.O.W.	RIGHT-OF-WAY
●	1/2" IRON ROD FOUND
⊗	COTTON GIN SPINDLE FOUND IN CONCRETE
▲	CALCULATED POINT
—	BREAK IN SCALE

I, Blaine J. Miller a Registered Professional
Land Surveyor do hereby certify that the above
map or plat is true and correct to the best of
my knowledge and that the property shown hereon
was determined by a survey made on the ground
under my direction and supervision.

WITNESS MY HAND AND SEAL at Austin,
Travis County, Texas this the 17th day of
August, 2016, A.D.



BLAINE J. MILLER
Registered Professional Land Surveyor
No. 5121 - State of Texas

BEARING BASIS: Texas State Plane Coordinate
System: Central Zone, NAD83 (Grid).

Dwg. # 16507EX1 CRD #

SHEET 2 OF 2

CSCI

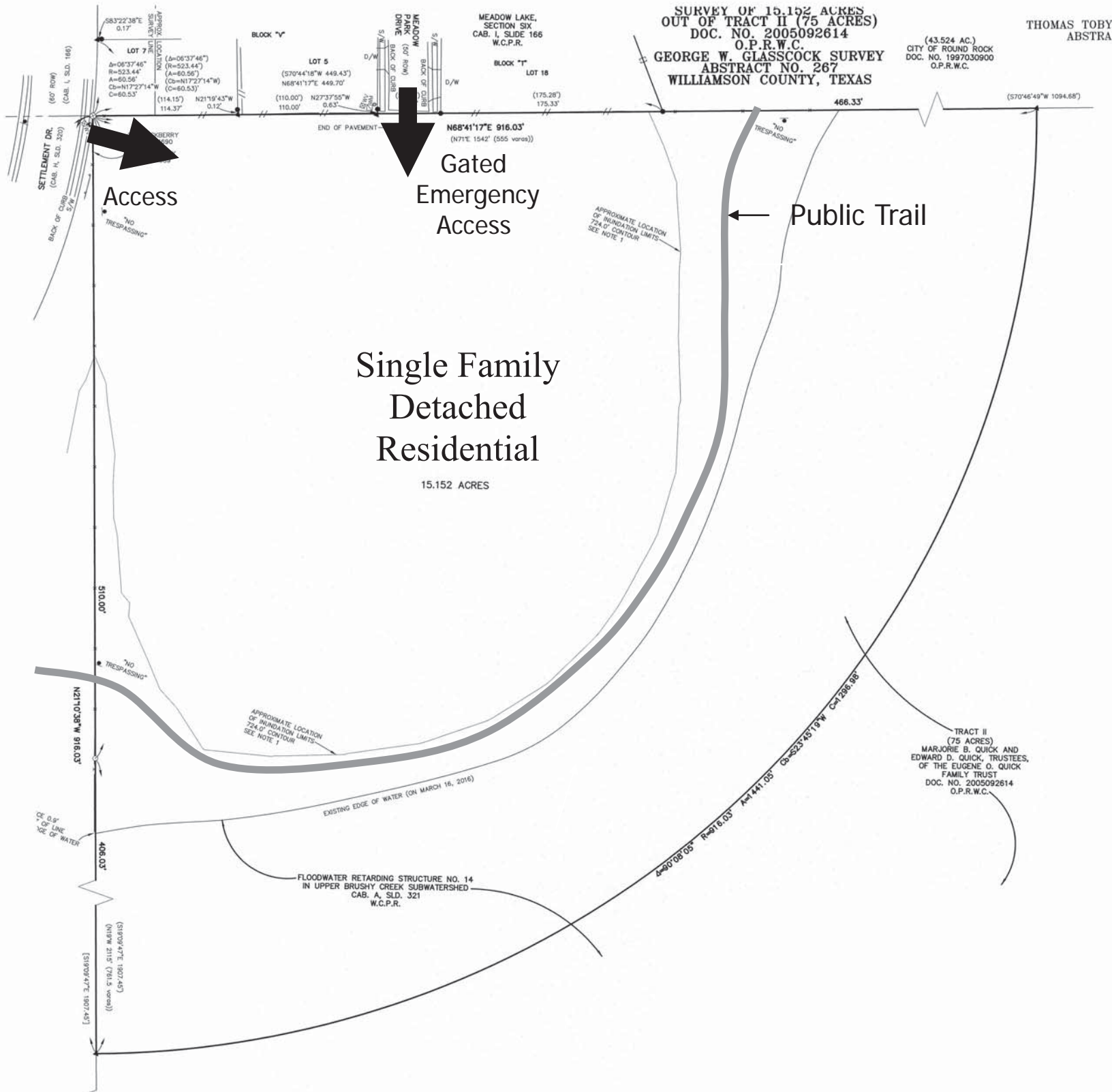
**CAPITAL
SURVEYING
COMPANY
INCORPORATED**

925 Capital of Texas Highway South
Building B, Suite 115
Austin, Texas 78748
(512) 327-4006

FIRM REGISTRATION
No. 101267-D

EXHIBIT B

Concept Plan



Not to scale

Perimeter Fencing

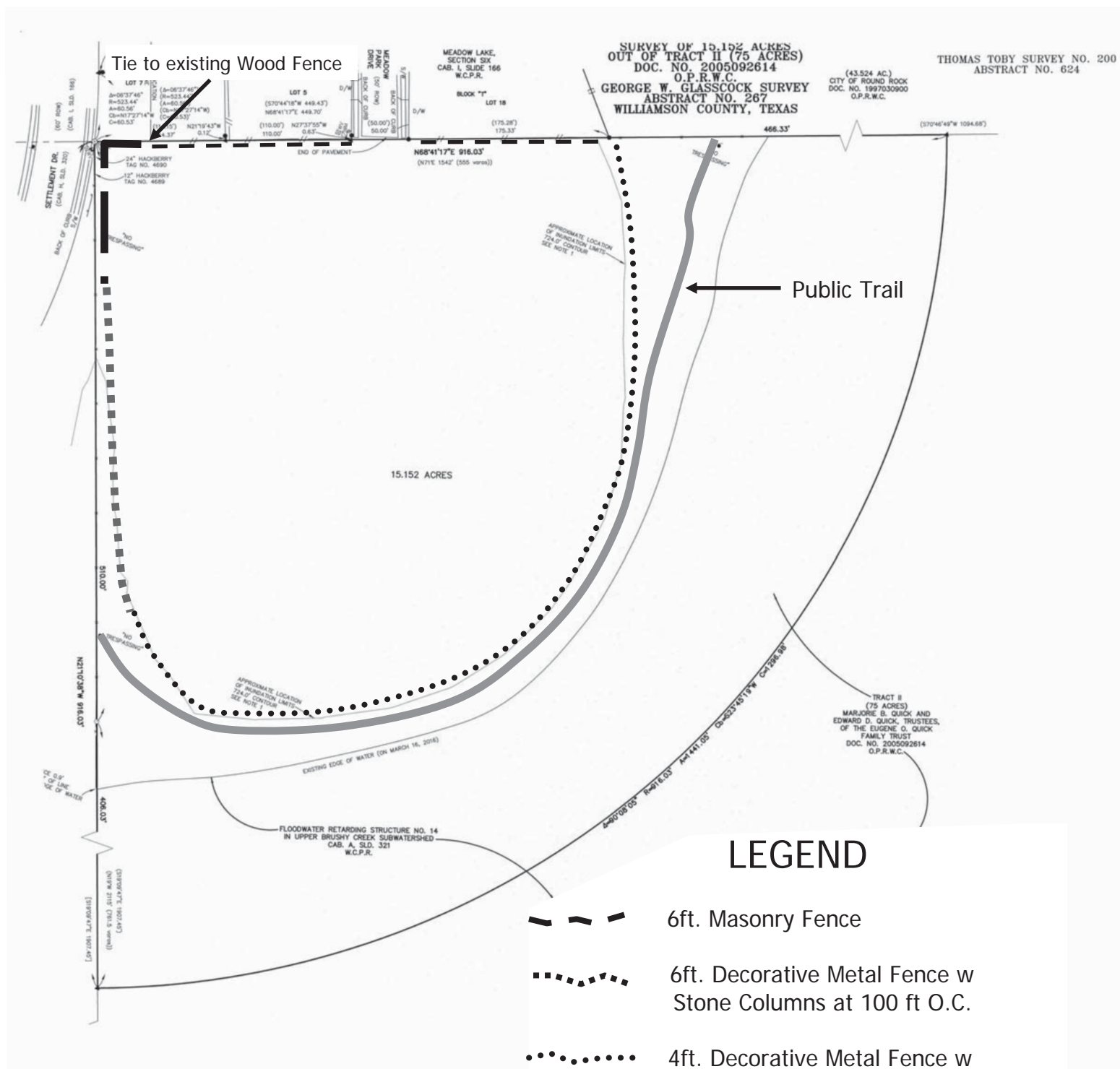


EXHIBIT D

Sidewalks

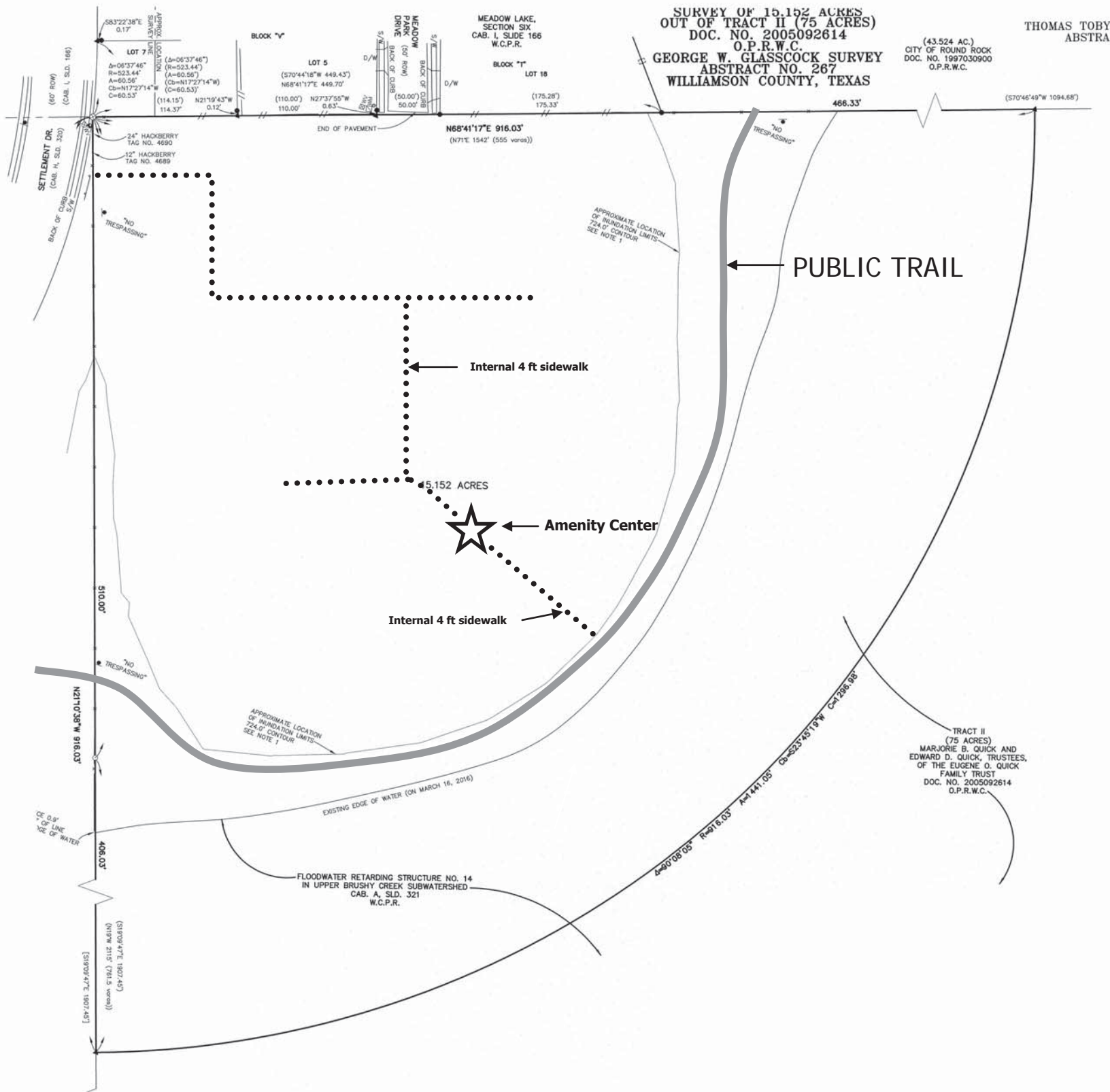
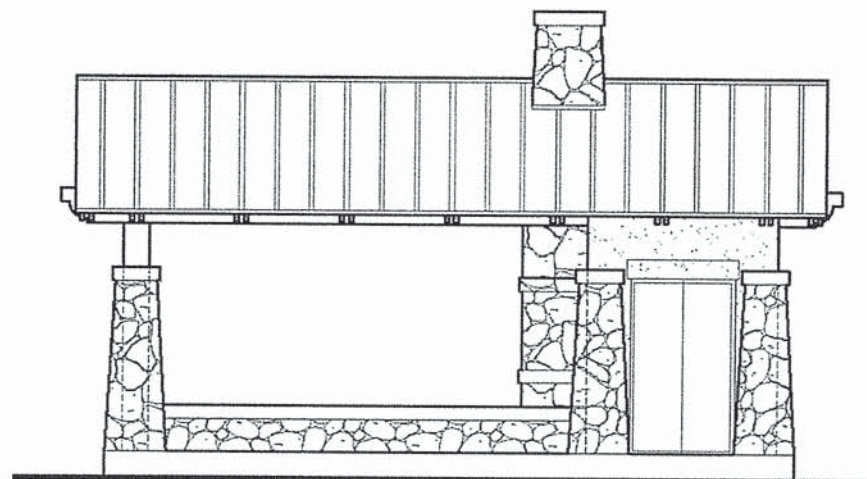
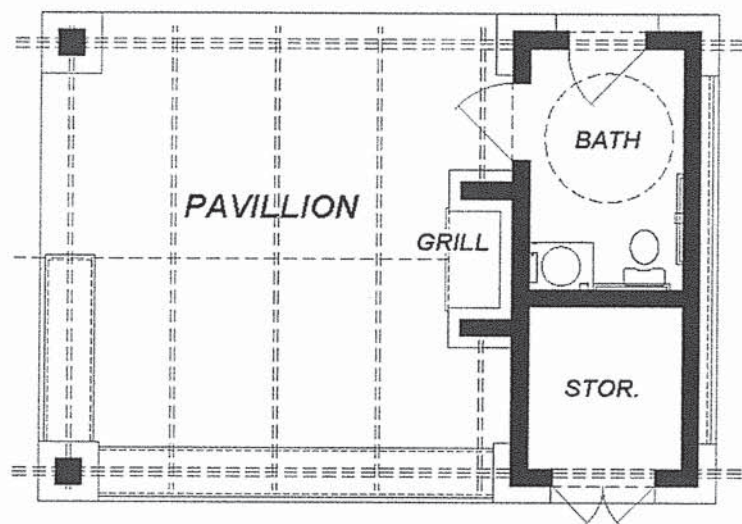


EXHIBIT D-1



THE *enterprise* COLLECTION



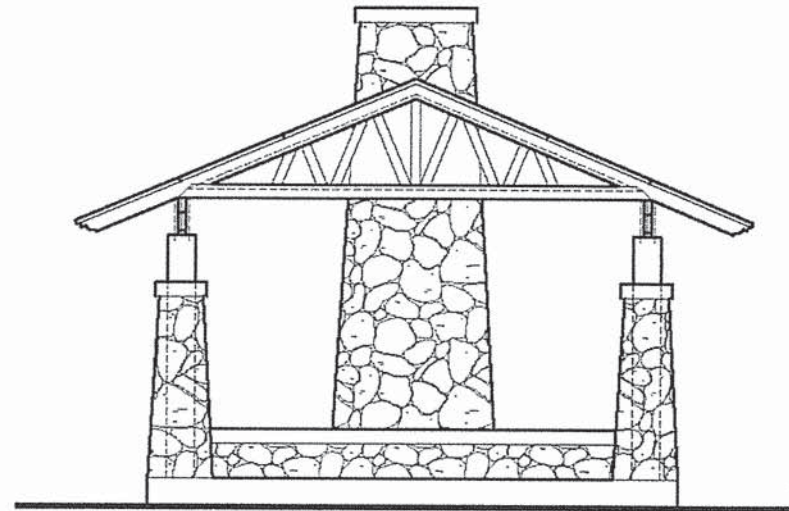
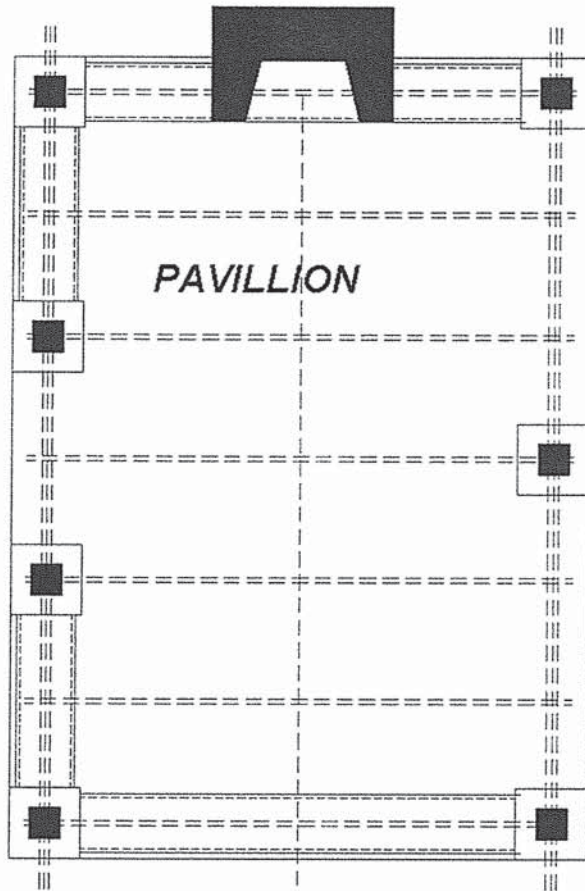
KIPP ★ FLORES ARCHITECTS
 11776 Jollyville Road ★ Suite 100 ★ Austin, TX 78759
 phone 512.335.5477 ★ fax 512.335.5852
www.kippflores.com

All rights reserved. The arrangements depicted herein are the sole property of Kipp, Flores Architects and may not be reproduced in any form without its written permission. This copyright notice and use restrictions are "Copyright Management Information" under the Digital Millennium Copyright Act. It is included to deter infringement and as such must not be modified or omitted.
 © Kipp, Flores Architects 2006

Sketch #500
 26'-4" x 19'-0"
 500sq.ft.

					AUS
					ACI
					10/06

EXHIBIT D-1



THE *enterprise* COLLECTION



KIPP FLORES ARCHITECTS
11776 Jollyville Road ★ Suite 100 ★ Austin, TX 78759
phone 512.335.5477 ★ fax 512.335.5852
www.kippflores.com

All rights reserved.
The arrangements depicted herein are
the sole property of Kipp, Flores
Architects and may not be reproduced in
any form without its written permission.
© Kipp, Flores Architects 2006

Sketch #512
28'-0" x 19'-0"
512sq.ft.

					AUS
					ACI
					10/06

EXHIBIT E

Public Trail

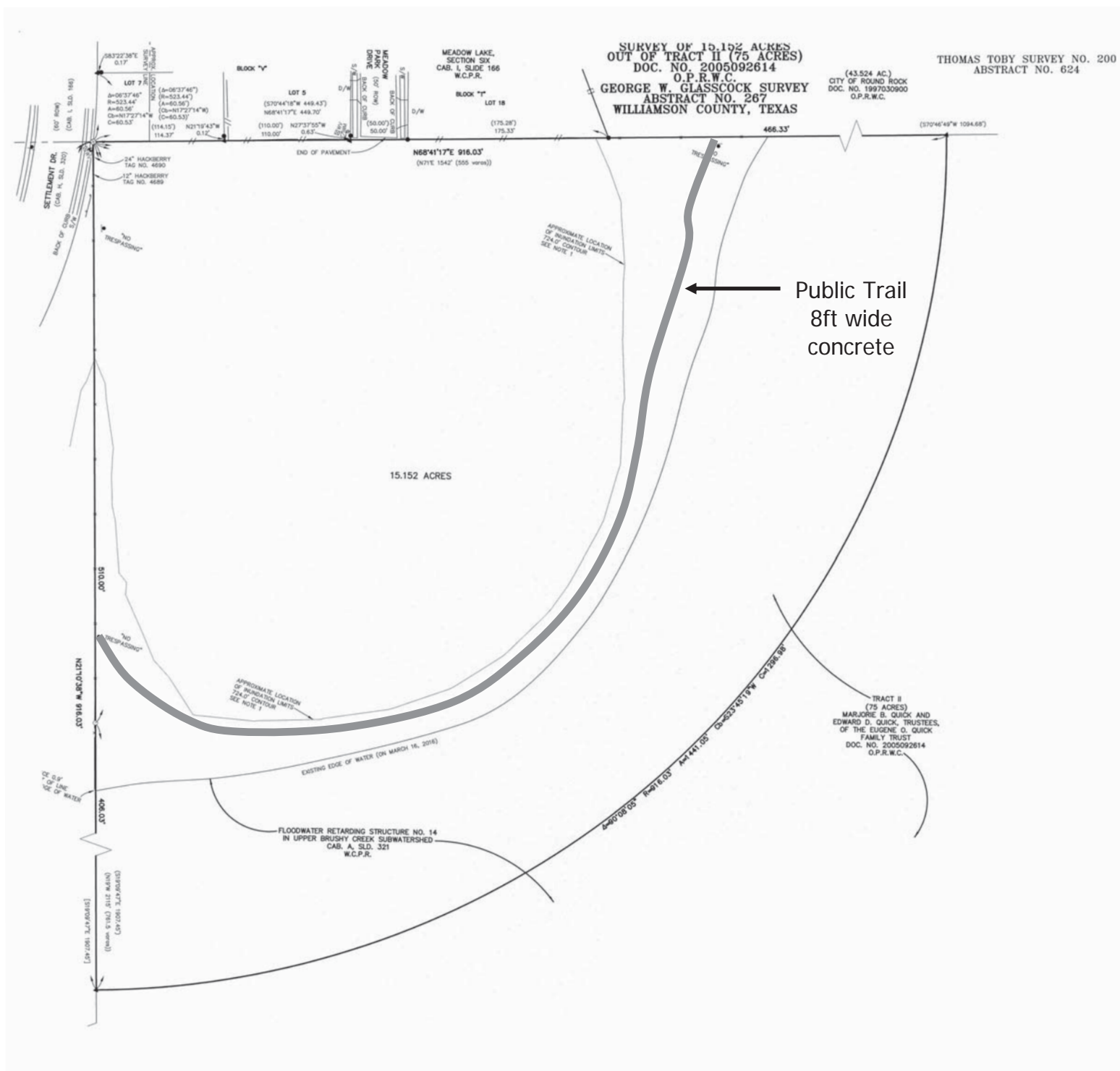
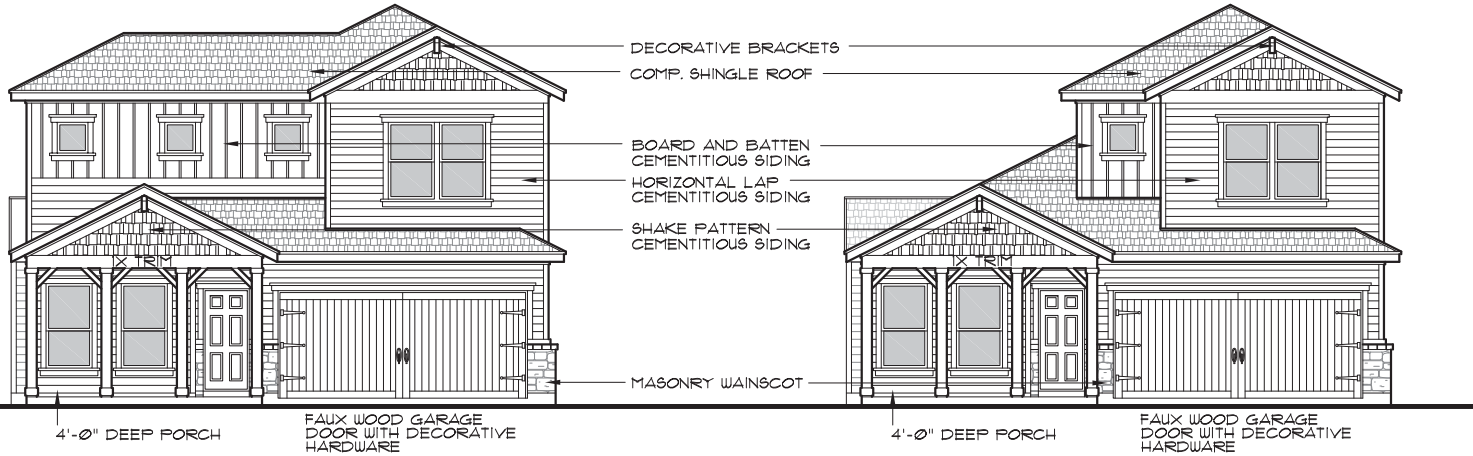


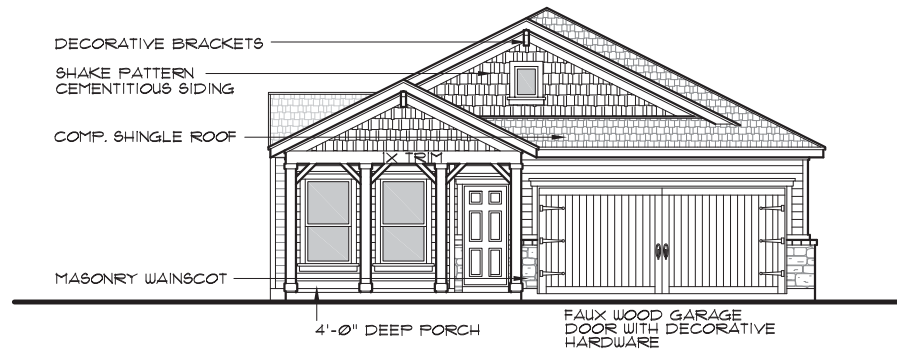
EXHIBIT F



(Opt. 2nd Floor With Bedroom)

(Opt. 2nd Floor)

Sketch 1759 'A' Elevation



CARY KIPP
9/28/2016
NOT FOR
REGULATORY
APPROVAL
PERMITTING
OR CONSTRUCTION

Exhibit F
PLAN 1759 RF

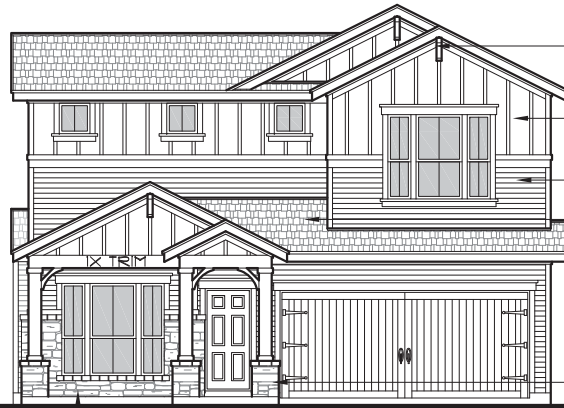
**Whittington
Group**

Due to variations in construction methods and details, the contractor is responsible for the final appearance of the project. All dimensions and materials are approximate and may vary slightly. Builder shall make any changes to make it more practical to build or to improve. Builder assumes full liability for any errors or omissions.

**KIPP+FLORES
ARCHITECTS®**
(612) 335-5477 Fax (612) 335-0852
WWW.KIPP+FLORES.COM
11776 Industry Blvd, Suite 100 Austin, Texas 78759

ALL RIGHTS RESERVED
© 2016 Kipp+Flores Architects LLC
The representations depicted herein
are the sole property of Kipp+Flores
Architects, and may not be
reproduced or any form without the
written permission. No copyright
notice and use restrictions are
included. Copyright Information
Copyright Act. It is included to
prevent the unauthorized
reproduction, distribution,
alteration, and use without
written permission.
Date
8-8-16
Sheet
7 of 8

EXHIBIT F



DECORATIVE BRACKETS

BOARD AND BATTEN
CEMENTITIOUS SIDING

HORIZONTAL LAP
CEMENTITIOUS SIDING

COMP. SHINGLE ROOF

MASONRY WAINGSCOT

4'-0" DEEP PORCH

FAUX WOOD GARAGE
DOOR WITH DECORATIVE
HARDWARE

(Opt. 2nd Floor With Bedroom)



4'-0" DEEP PORCH

FAUX WOOD GARAGE
DOOR WITH DECORATIVE
HARDWARE

(Opt. 2nd Floor)

Sketch 1759 'B' Elevation

COMP. SHINGLE ROOF

DECORATIVE BRACKETS

BOARD AND BATTEN
CEMENTITIOUS SIDING

MASONRY WAINGSCOT

4'-0" DEEP PORCH

FAUX WOOD GARAGE
DOOR WITH DECORATIVE
HARDWARE

CARY KIPP
9/28/2016
NOT FOR
REGULATORY
APPROVAL
PERMITTING
OR CONSTRUCTION

Exhibit "F"
PLAN 1759 RF

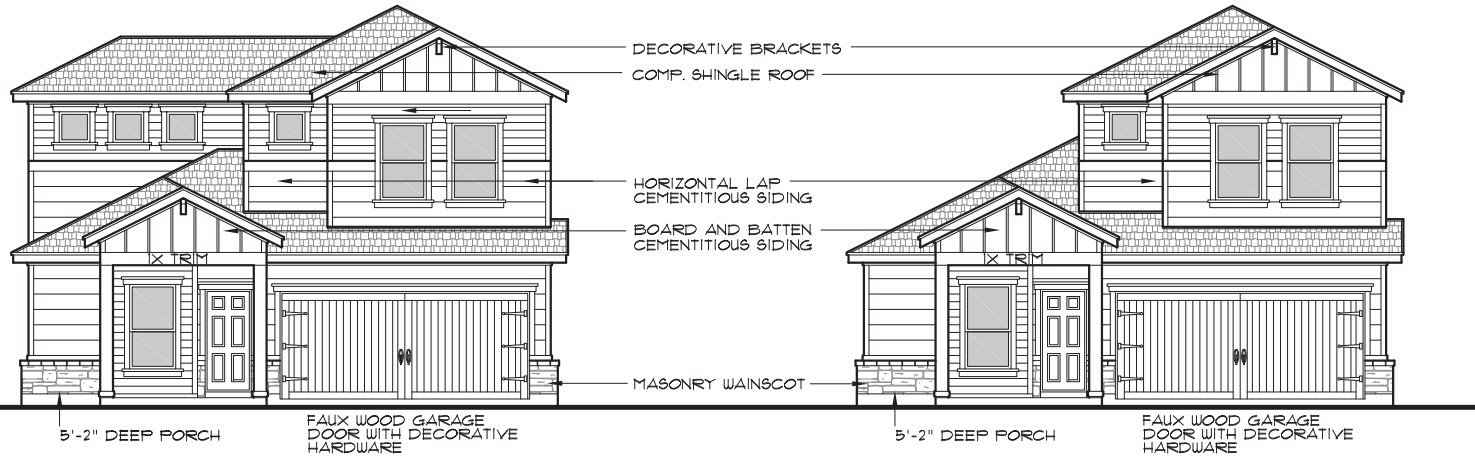
**Whittington
Group**

Due to weather conditions, schedule and details in construction materials, all dimensions and materials are approximate and may vary slightly. Builder should verify dimensions and materials in accordance with the specifications. Builder assumes full liability for any errors or omissions.

**KIPP+FLORES
ARCHITECTS®**
11776 Jollyville Road, Suite 100 Austin, Texas 78759
(512) 335-5477 Fax (512) 335-9352
WWW.KIPP+FLORES.COM

All rights reserved. No part of this document may be reproduced without written permission. This document is the property of Kipp+Flores Architects, Inc. and may not be used without the written permission of Kipp+Flores Architects, Inc. Copyright © 2016 Kipp+Flores Architects, Inc. All rights reserved. Date: 8-8-16 Sheet: 8 of 8

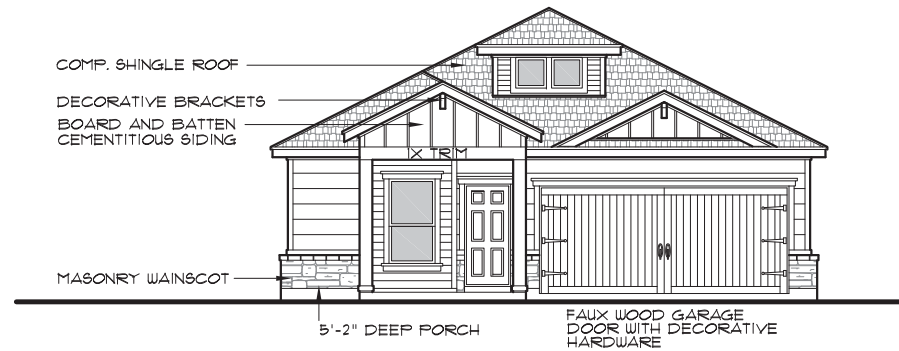
EXHIBIT F



(Opt. 2nd Floor With Bedroom)

(Opt. 2nd Floor)

Sketch 1738 'A' Elevation



CARY KIPP
9/28/2016
NOT FOR
REGULATORY
APPROVAL,
PERMITTING
OR CONSTRUCTION

Exhibit F
PLAN 1738 RF

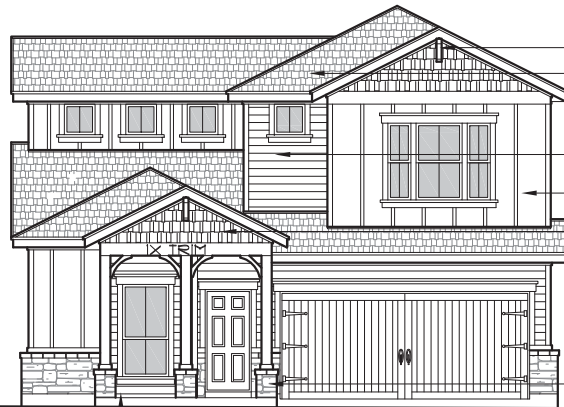
**Whittington
Group**

Due to variations in construction methods and details in construction materials, all dimensions and materials are approximate and may vary slightly. Builder shall verify all dimensions and materials in accordance with the plans and specifications. Builder assumes full liability for any errors in the plans and specifications.

**KIPP+FLORES
ARCHITECTS®**
11776 Industry Blvd., Suite 100 Austin, Texas 78759
(512) 335-5477 Fax (512) 335-9552
WWW.KIPP+FLORES.COM

All rights reserved. © 2016 Kipp+Flores Architects LLC. The representations depicted herein are the sole property of Kipp+Flores Architects, Ltd. and may not be reproduced in any form without the written permission. No copyright notice and use restrictions apply. Copyright Act. It is included to protect the user's copyright, infringement, and no such right can be created or enforced.
Date
8-9-16
Sheet
5 of 8

EXHIBIT F



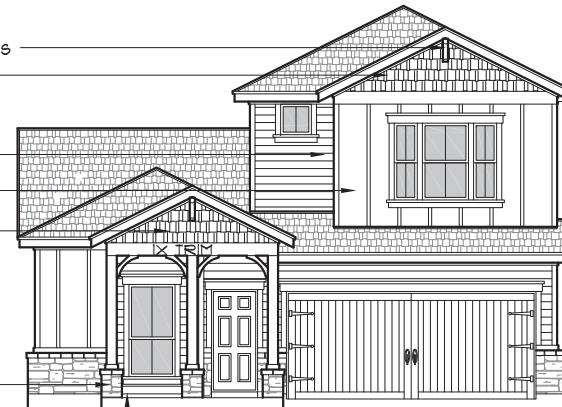
5'-0" DEEP PORCH
FAUX WOOD GARAGE
DOOR WITH DECORATIVE
HARDWARE

(Opt. 2nd Floor With Bedroom)

DECORATIVE BRACKETS
COMP. SHINGLE ROOF

HORIZONTAL LAP
CEMENTITIOUS SIDING
BOARD AND BATTEN
CEMENTITIOUS SIDING
SHAKE PATTERN
CEMENTITIOUS SIDING

MASONRY WAINSCOT



5'-0" DEEP PORCH
FAUX WOOD GARAGE
DOOR WITH DECORATIVE
HARDWARE

(Opt. 2nd Floor)

Sketch 1738 'B' Elevation

COMP. SHINGLE ROOF
DECORATIVE BRACKETS
SHAKE PATTERN
CEMENTITIOUS SIDING

MASONRY WAINSCOT



5'-0" DEEP PORCH
FAUX WOOD GARAGE
DOOR WITH DECORATIVE
HARDWARE

CARY KIPP
NOT FOR
REGULATORY
APPROVAL,
PERMITTING
OR CONSTRUCTION

Exhibit F
PLAN 1738 RF

**Whittington
Group**

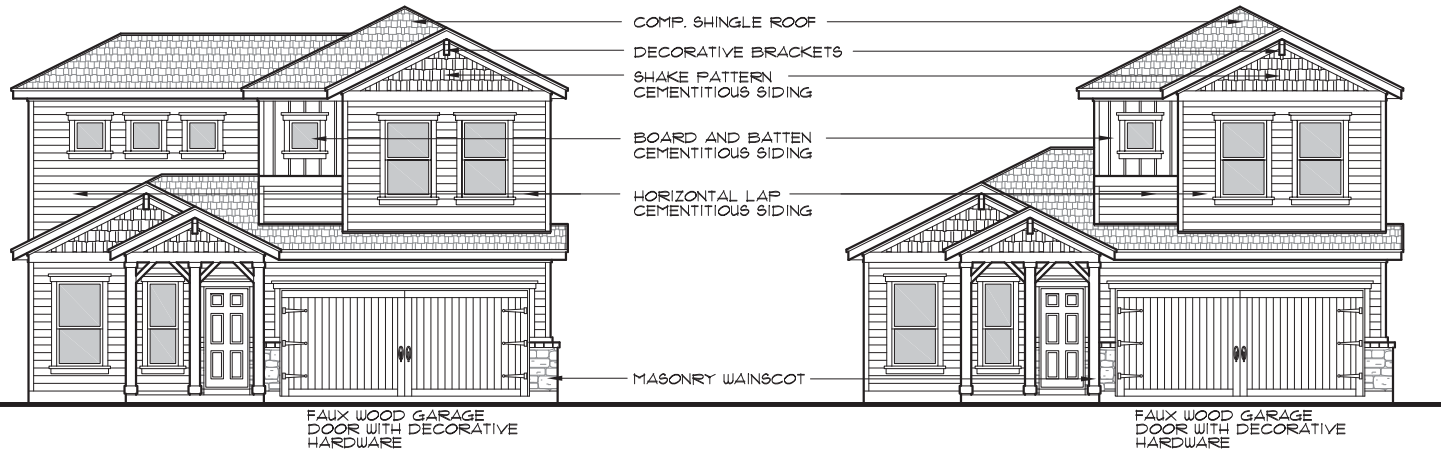
Due to weather conditions, sketches and details are not to be used for construction. All dimensions and materials are approximate and may vary. Buyer should verify all dimensions and materials with the manufacturer. Buyer assumes all liability for any errors or omissions.

**KIPP+FLORES
ARCHITECTS®**
11776 Jollyway Pkwy, Suite 100 Austin, Texas 78759
(512) 335-5477 Fax (512) 335-9352
WWW.KIPP+FLORES.COM

ALL RIGHTS RESERVED
© 2016 Kipp+Flores Architects LLC
The representations depicted herein
are the sole property of Kipp+Flores
Architects, and may not be
reproduced or used without the
written permission. No copyright
notice or other information
may be used without the written
permission of Kipp+Flores Architects.
Copyright Act. It is included in
this document for information
purposes only and is not to be
reproduced or used without
the written permission of Kipp+Flores Architects.

Date
8-9-16
Sheet
6 of 8

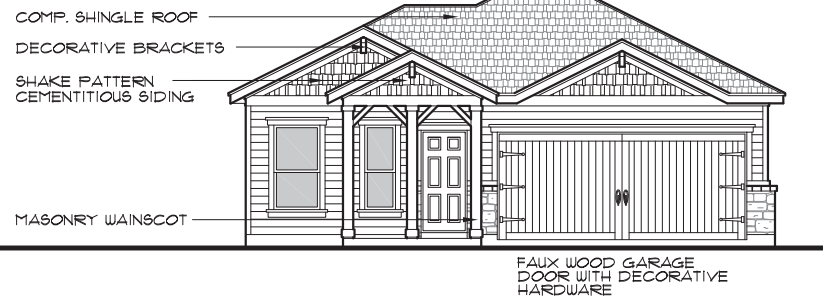
EXHIBIT F



(Opt. 2nd Floor With Bedroom)

(Opt. 2nd Floor)

Sketch 1507 'A' Elevation



CARY KIPP
8/28/2016
NOT FOR
REGULATORY
APPROVAL
PERMITTING
OR CONSTRUCTION

Exhibit F
PLAN 1507 RF

**Whittington
Group**

Due to variations in construction methods and details, the construction of this house is an approximation only. It is not intended to be a final construction document. All dimensions and materials are approximate and may vary. It is the responsibility of the owner to verify all dimensions and materials before construction. All dimensions and materials are approximate and may vary. It is the responsibility of the owner to verify all dimensions and materials before construction.

**KIPP+FLORES
ARCHITECTS®**
11776 Industry Blvd., Suite 100 Austin, Texas 78759
(512) 335-5477 Fax (512) 335-9852
WWW.KIPP+FLORES.COM

ALL RIGHTS RESERVED
© 2016 Kipp+Flores Architects LLC
The representations depicted herein
are the sole property of Kipp+Flores
Architects, and may not be
reproduced in any form without the
written permission. No copyright
notice and use restrictions are
included. All rights reserved.
Copyright Act. It is included in
this document for information
purposes only and is not intended
to be used for any other purpose.
All rights reserved.

Sketch 1507 Elevation, A.DWG. 08/28/16

Date
8-12-16
Sheet
3 of 8

All rights reserved.
© 2006 KippFlares Architecture
The arrangements depicted
are the sole property of
KippFlares Architecture, and may
be reproduced in any form
without permission.
Notice and use restrictions
Copyright Management is
under the Digital Millennium
Copyright Act. It is illegal to
detect and/or deter copyright
infringement, and as such
will not be modified or altered.

Date
8-12-11

Sheet
4 of 8

EXHIBIT F



COMP. SHINGLE ROOF
DECORATIVE BRACKETS

BOARD AND BATTEN
CEMENTITIOUS SIDING

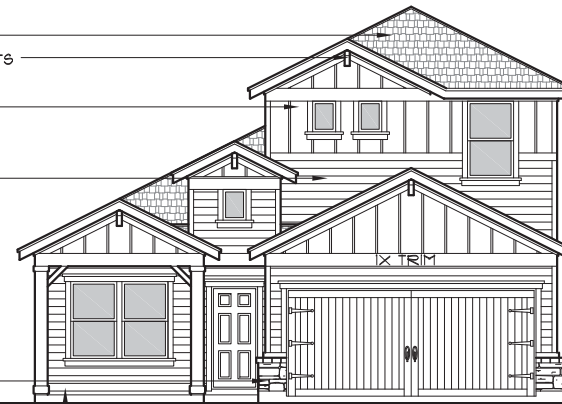
HORIZONTAL LAP
CEMENTITIOUS SIDING

MASONRY WAINSCOT

5'-0" DEEP PORCH

FAUX WOOD GARAGE
DOOR WITH DECORATIVE
HARDWARE

(Opt. 2nd Floor With Bedroom)



5'-0" DEEP PORCH

FAUX WOOD GARAGE
DOOR WITH DECORATIVE
HARDWARE

(Opt. 2nd Floor)

Sketch 1420
'A' Elevation

COMP. SHINGLE ROOF
DECORATIVE BRACKETS

HORIZONTAL LAP
CEMENTITIOUS SIDING

BOARD AND BATTEN
CEMENTITIOUS SIDING

MASONRY WAINSCOT

5'-0" DEEP PORCH

FAUX WOOD GARAGE
DOOR WITH DECORATIVE
HARDWARE

CARY KIPP
9/27/2016
NOT FOR
REGULATORY
APPROVAL
PERMITTING
OR CONSTRUCTION

Exhibit F
PLAN 1420 RFA

**Whittington
Group**

Due to weather or construction delays, not shown in construction details. All dimensions and materials are approximate and may vary. Builder is responsible for obtaining all necessary permits and approvals. All materials and workmanship shall be in accordance with the specifications. All materials shall be of the highest quality and available in the area.

**KIPP+FLORES
ARCHITECTS®**
11776 Jollyway Pkwy, Suite 100 Austin, Texas 78759
(512) 335-5477 Fax (512) 335-5852
WWW.KIPP+FLORES.COM

All rights reserved. No part of this document may be reproduced without written permission. This copyright notice and any restrictions on its use shall be included in all copies of this document. Copyright © 2016 Kipp+Flores Architects, LLC. All rights reserved. No part of this document may be reproduced without written permission. This copyright notice and any restrictions on its use shall be included in all copies of this document.
Date
8-11-16
Sheet
1 of 8

EXHIBIT F



COMP. SHINGLE ROOF
DECORATIVE BRACKETS

HORIZONTAL LAP
CEMENTITIOUS SIDING

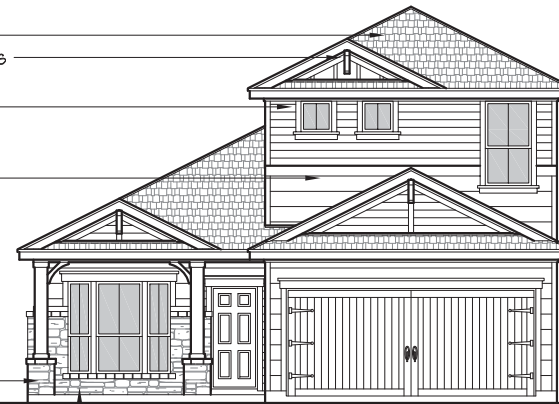
HORIZONTAL LAP
CEMENTITIOUS SIDING

MASONRY WAINSCOT

5'-0" DEEP PORCH

FAUX WOOD GARAGE
DOOR WITH DECORATIVE
HARDWARE

(Opt. 2nd Floor With Bedroom)



COMP. SHINGLE ROOF
DECORATIVE BRACKETS

HORIZONTAL LAP
CEMENTITIOUS SIDING

HORIZONTAL LAP
CEMENTITIOUS SIDING

MASONRY WAINSCOT

5'-0" DEEP PORCH

FAUX WOOD GARAGE
DOOR WITH DECORATIVE
HARDWARE

(Opt. 2nd Floor)

Sketch 1420

'B' Elevation

DECORATIVE BRACKETS

BOARD AND BATTEN
CEMENTITIOUS SIDING

HORIZONTAL LAP
CEMENTITIOUS SIDING

COMP. SHINGLE ROOF

MASONRY WAINSCOT

5'-0" DEEP PORCH

FAUX WOOD GARAGE
DOOR WITH DECORATIVE
HARDWARE

CARY KIPP
9/28/2016
NOT FOR
REGULATORY
APPROVAL
PERMITTING
OR CONSTRUCTION

Exhibit F
PLAN 1420 RF

**Whittington
Group**

Due to weather conditions, schedule and design is construction schedule.
All dimensions and materials are approximate and may vary per plan. Builder
should verify all dimensions and materials with the manufacturer.
Builder should verify all materials with the manufacturer.
Builder should verify all materials with the manufacturer.

**KIPP+FLORES
ARCHITECTS®**
11776 Jollyville Road, Austin, Texas 78759
(512) 335-5477 Fax (512) 335-9352
WWW.KIPP+FLORES.COM

ALL RIGHTS RESERVED.
© 2016 Kipp+Flores Architects LLC.
The representations depicted herein
are the sole property of Kipp+Flores
Architects, and may not be
reproduced in any form without the
written permission. No copyright
notice and use restrictions are
included in this document.
Copyright Act. It is included in
this document for information
purposes only, and no such right
shall be created or implied.

Date
8-11-16
Sheet
2 of 8