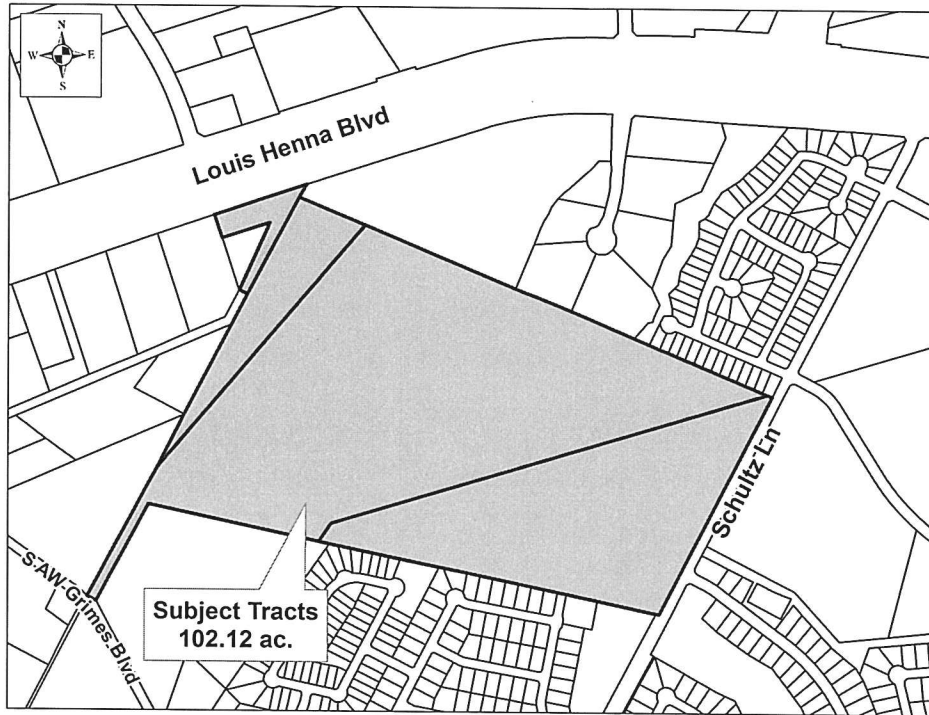


**Glen Ellyn Revised Preliminary Plat
PRELIM PLAT PP1701-001**



CASE PLANNER: David Fowler

REQUEST: Approval of Revised Preliminary Plat

ZONING AT TIME OF APPLICATION: PUD 105

DESCRIPTION: 102.12 acres out of the William Barker Survey, Abstract No. 74

CURRENT USE OF PROPERTY: Vacant

GENERAL PLAN LAND USE DESIGNATION: Industrial and Residential

ADJACENT LAND USE:

North: Residential and Industrial

South: Residential and Industrial

East: Vacant

West: Industrial and Vacant

PROPOSED LAND USE: Residential and Light Industrial

<u>PROPOSED LOTS BY TYPE:</u>	<u>NUMBER OF LOTS</u>	<u>ACREAGE</u>
Residential - Single Unit:	202	34.13
Residential - Multi Unit:	0	0.00
Office:	0	0.00
Commercial:	0	0.00
Industrial:	1	50.57
Open/Common Space:	11	6.12
ROW:	0	9.67
Parkland:	0	0.00
Other:	0	0.00
TOTALS:	214	102.12

Owner:
DAUGHERTY FAMILY REGISTERED LTD
LIABILITY PARTNERSHIP #1
4409 GAINES RANCH LOOP
APT 538

Agent
Gray Engineering, Inc.
Steven Minor
8834 N. Capital of TX Hwy., Ste. 140
Austin, TX 78759

**Glen Ellyn Revised Preliminary Plat
PRELIMINARY PLAT FP1701-001**

HISTORY: City Council approved the Glen Ellyn Planned Unit Development (PUD 105) on April 14, 2016. City Council approved the Glen Ellyn Annexation April 14, 2016. The Planning and Zoning Commission approved the Glen Ellyn Preliminary Plat and Final Plat on April 20, 2016.

DATE OF REVIEW: March 1, 2017

LOCATION: Southeast of the intersection of Louis Henna Blvd. and S. A.W. Grimes Blvd.

STAFF REVIEW AND ANALYSIS:

General Plan and Zoning: The property is designated as industrial in the General Plan. PUD No. 105 amended this plan to provide for the designation of approximately half of the property as single family residential and the remaining half as light industrial with limited commercial uses

Traffic, Access and Roads: Approximately half of the property contains 202 residential development lots on 51.65 acres and the remaining half is designated as one light industrial lot of 50.47 acres. Access to the 202 residential lots is provided by two street connections to Schultz Lane. The 50.47 acre lot has frontage on A.W. Grimes Boulevard to the west and Louis Henna Boulevard (SH 45) to the north, as well as to Roundville Lane, a City-owned right of way. A TIA (Traffic Impact Assessment) was prepared and approved with the zoning of the property.

Water and Wastewater Service: Water and wastewater services will be provided from existing lines which are located adjacent to the property.

Drainage: Surface water flows generally to the north into an existing offsite channel.

Additional Considerations: This previously-approved preliminary plat is being revised for the purpose of adding 10 additional residential lots in an area that had previously been shown as the site for community amenities. The tentative amenities center is no longer planned, so the area is proposed to be converted to the new residential lots. The PUD does not require an amenity center within the residential part of the development. The industrial portion of the preliminary plat is not affected by this revision.

RECOMMENDED MOTION:

Staff recommends approval with the following conditions:

1. Rectify overall project total acreage with acreage of listed lot types.
2. Reconfigure all residential lots under 6,500 square feet in Blocks A, F, and G to meet the 6,500 square foot minimum residential lot area specified in PUD 105. Update the lot table to reflect changes.

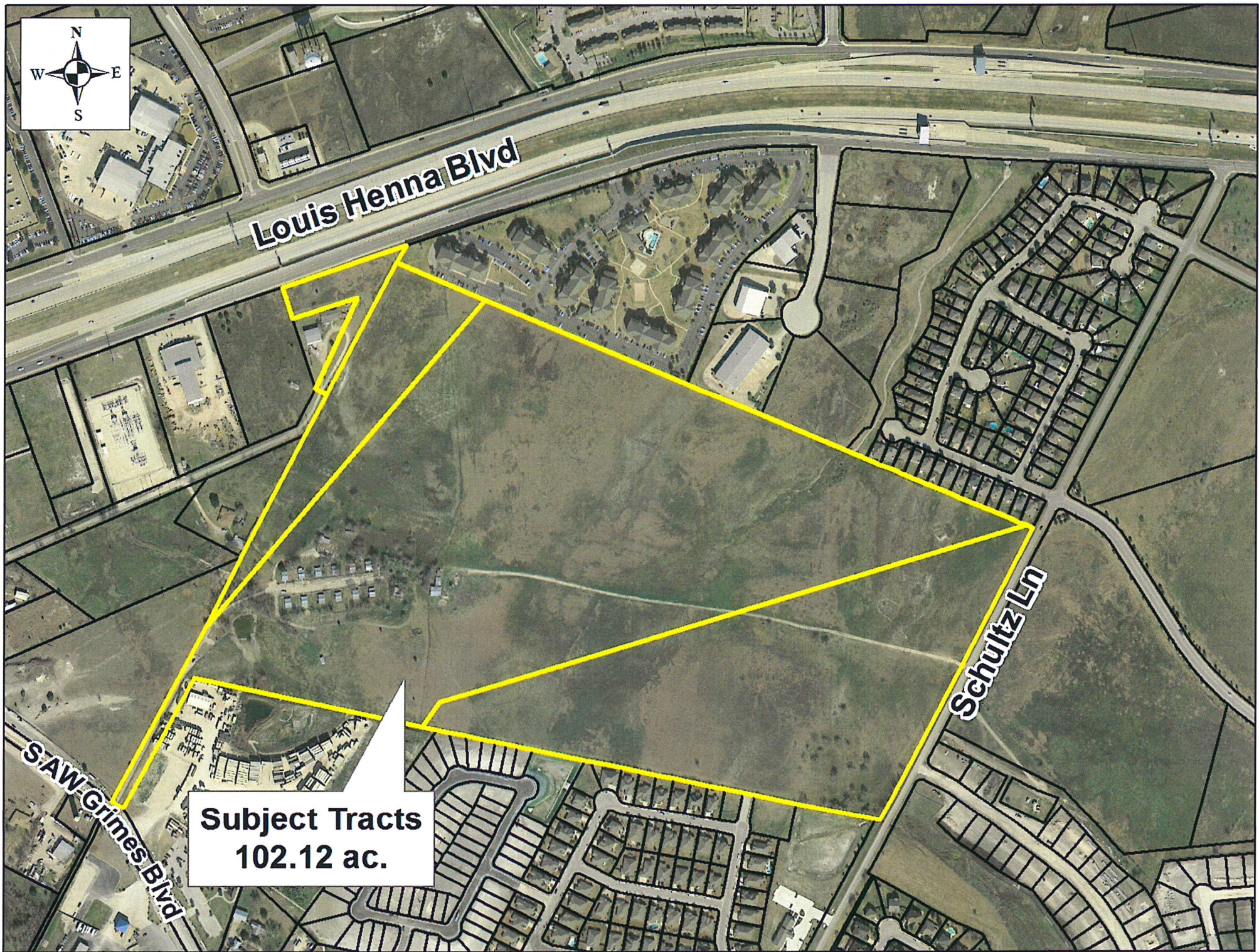


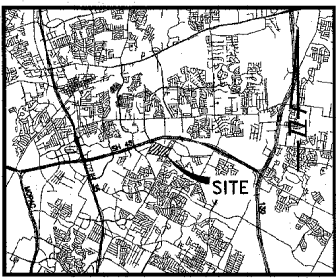
Louis Henna Blvd

Schultz Ln

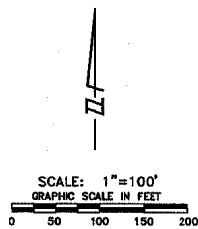
SAW Grimes Blvd

Subject Tracts
102.12 ac.





REVISED PRELIMINARY PLAT FOR GLEN ELLYN SUBDIVISION



GLEN ELLYN

OWNER: CONTINENTAL HOMES OF TEXAS, LP
10700 PECAN PARK BLVD. SUITE 400
AUSTIN, TX 78750

DEVELOPER: SECTION 1
CONTINENTAL HOMES OF TEXAS, LP
10700 PECAN PARK BLVD. SUITE 400
AUSTIN, TX 78750

ACREAGE: 102.12 ACRES

SURVEYOR: BASE LINE LAND SURVEYORS, INC.
8333 CROSS PARK DRIVE
AUSTIN, TEXAS 78754
PHONE: (512)374-6722 FAX: (512)873-9743

LINEAR FEET OF NEW STREETS: 8,017 LF

SUBMITTAL DATE: JANUARY 30, 2017

NUMBER OF BLOCKS: 8

DATE OF PLANNING AND ZONING
COMMISSION REVIEW: MARCH 1, 2017

BENCHMARK DESCRIPTION
AND ELEVATION: A PERMANENT BENCH MARK WILL BE INSTALLED TO CITY OF
ROUND ROCK SPECIFICATIONS UPON CONSTRUCTION OF THIS
SUBDIVISION.

ACREAGE BY LOT TYPE: DEVELOPMENT: 34.13 AC., ROW: 9.67 AC.
OPEN SPACE: 1.87 AC., OPEN SPACE/DRAINAGE/P.U.E.: 2.72 AC.
OPEN SPACE/DRAINAGE: 1.73 AC.
LIGHT INDUSTRIAL/COMMERCIAL: 50.57 AC.

PATENT SURVEY: WM. BARKER SURVEY NO. 74, ABSTRACT NO. 107 & 109

ENGINEER: GRAY ENGINEERING, INC.
8834 NORTH CAPITAL OF TEXAS HIGHWAY, SUITE 140
AUSTIN, TEXAS 78759
PHONE: (512)452-0371
FAX: (512)454-9933

NUMBER OF LOTS BY TYPE: 200 DEVELOPMENT, 9 OPEN SPACE LOTS,
1 OPEN SPACE/STORM SEWER, 2 DRAINAGE, 2 DRAINAGE/PUE, 1 OPEN
SPACE/DRAINAGE, 1 LIGHT INDUSTRIAL/COMMERCIAL

LEGEND

1 LOT NUMBER

(A) BLOCK NUMBER

--- BOUNDARY LINE

P.U.E.- PUBLIC UTILITY EASEMENT

T.C.E.- TEMPORARY CONSTRUCTION EASEMENT

L.S.E.- LANDSCAPE EASEMENT

O.P.R.W.C.T.- OFFICIAL PUBLIC RECORDS WILLAMSON COUNTY TEXAS

O.P.R.T.C.T.- OFFICIAL PUBLIC RECORDS TRAVIS COUNTY TEXAS

D.R.W.C.T.- DEED RECORDS WILLAMSON COUNTY TEXAS

CURVE DATA

NUMBER	DELTA	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	36° 01' 14"	65.02	200.00	125.74	123.68	S89° 58' 05.95"E
C2	29° 37' 07"	47.59	180.00	93.05	92.02	N86° 49' 50.16"E
C3	40° 33' 22"	66.51	180.00	127.41	124.77	S2° 17' 58.05"W
C4	10° 56' 16"	28.72	300.00	57.27	57.18	N17° 06' 31.30"E
C5	47° 21' 05"	78.92	180.00	148.76	144.56	N78° 11' 13.49"E
C6	31° 56' 39"	57.24	200.00	111.51	110.07	N38° 32' 21.79"E
C7	17° 43' 09"	28.06	180.00	55.67	55.44	S26° 37' 44.64"E
C8	29° 37' 56"	47.61	180.00	93.09	92.06	S2° 57' 12.22"E
C9	27° 26' 10"	43.94	180.00	86.19	85.37	S49° 12' 24.16"E
C10	9° 04' 36"	14.29	180.00	28.51	28.49	S67° 25' 10.94"E



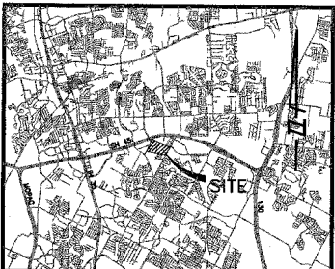
PAGE 1 OF 3

PROJECT NO. 1283-10852	DESIGNED BY: RJ
FILE NO. Preliminary.dwg	DRAWN BY: RJ
DATE: 10/15	CHECKED BY: SB
SCALE: AS SHOWN	REVIEWED BY: SB

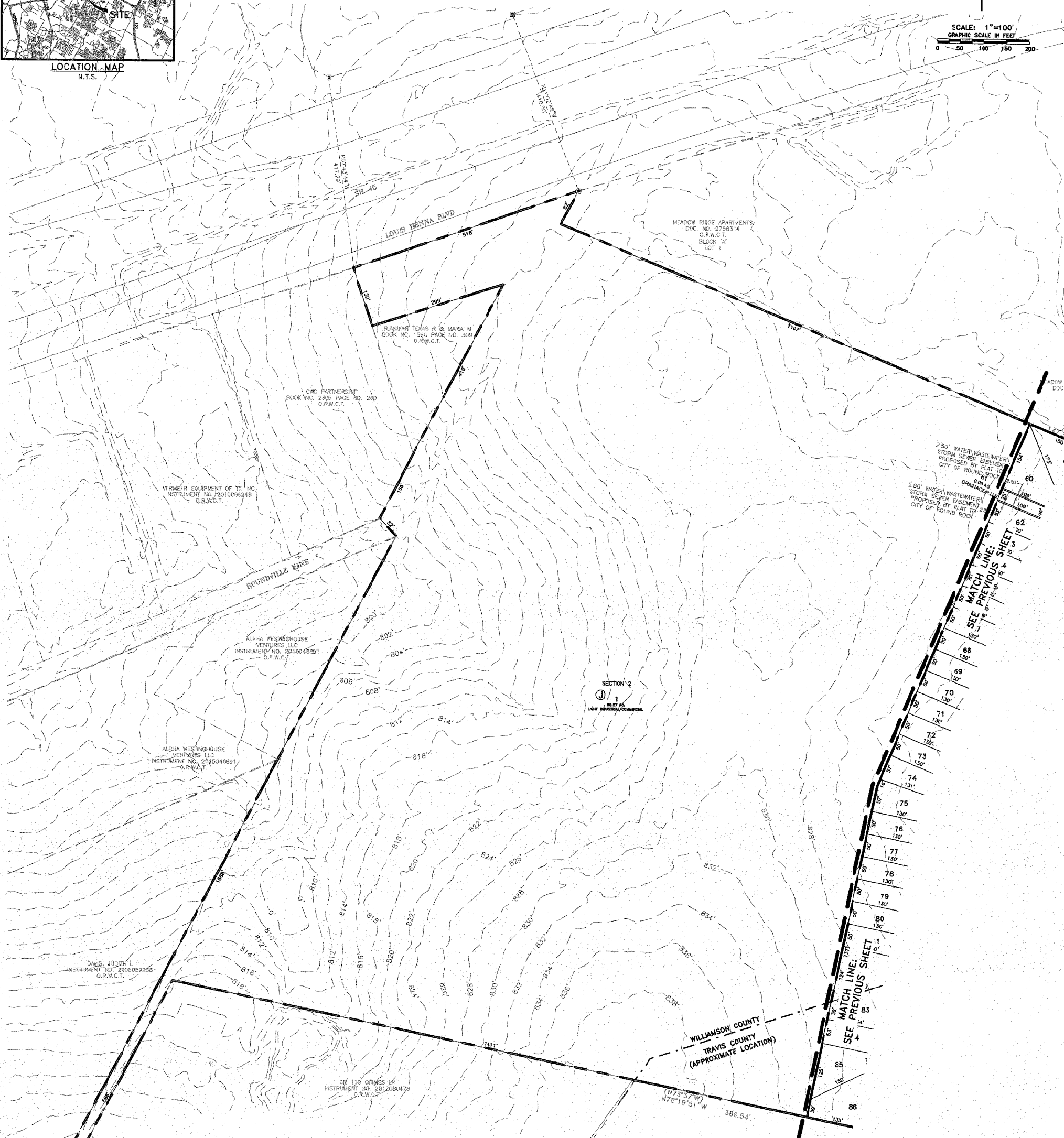
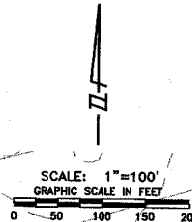


8834 N. Capital of Texas Hwy.
Austin, Texas 78759
Suite 140
(512)452-0371
FAX (512)454-9933
TBE FIRM #2946

REVISED PRELIMINARY PLAT FOR GLEN ELLYN SUBDIVISION



LOCATION MAP
N.T.S.



GLEN ELLYN

OWNER: DAUGHERTY FAMILY REGISTERED, LTD. LIABILITY PARTNERSHIP #1
4409 GAINES RANCH LOOP #538
AUSTIN, TX 78735
SECTION 2
DEVELOPER: CONTINENTAL HOMES OF TEXAS, LP
10700 PECAN PARK BLVD. SUITE 400
AUSTIN, TX 78750
ACREAGE: 102.12 ACRES
SURVEYOR: BASE LINE LAND SURVEYORS, INC.
8333 CROSS PARK DRIVE
AUSTIN, TEXAS 78754
PHONE: (512)374-6722 FAX: (512)871-9743
LINEAR FEET OF NEW STREETS: 8,017 LF
SUBMITTAL DATE: JANUARY 30, 2017
NUMBER OF BLOCKS: 8
DATE OF PLANNING AND ZONING COMMISSION REVIEW: MARCH 1, 2017
BENCHMARK DESCRIPTION AND ELEVATION: A PERMANENT BENCH MARK WILL BE INSTALLED TO CITY OF ROUND ROCK SPECIFICATIONS UPON CONSTRUCTION OF THIS SUBDIVISION
ACREAGE BY LOT TYPE: DEVELOPMENT: 34.13 AC., ROW: 9.67 AC.
OPEN SPACE: 1.67 AC., OPEN SPACE/DRAINAGE/P.U.E.: 2.72 AC.
OPEN SPACE/DRAINAGE: 1.73 AC.
LIGHT INDUSTRIAL/COMMERCIAL: 50.57 AC.

PATENT SURVEY: WM. BARKER SURVEY NO. 74, ABSTRACT NO. 107 & 109, MEMUCAN HUNT SURVEY ABSTRACT 314

ENGINEER: GRAY ENGINEERING, INC.
8834 NORTH CAPITAL OF TEXAS HIGHWAY, SUITE 140
AUSTIN, TEXAS 78759
PHONE: (512)452-0371
FAX: (512)454-9933

NUMBER OF LOTS BY TYPE: 202 DEVELOPMENT, 9 OPEN SPACE LOTS,
1 OPEN SPACE/DRAINAGE/P.U.E., 1 OPEN SPACE/DRAINAGE

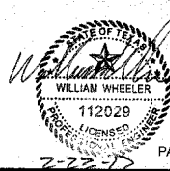
LEGEND

- 1 LOT NUMBER
(A) BLOCK NUMBER
--- BOUNDARY LINE
P.U.E.- PUBLIC UTILITY EASEMENT
T.C.E.- TEMPORARY CONSTRUCTION EASEMENT
L.S.E.- LANDSCAPE EASEMENT

O.P.R.W.C.T.- OFFICIAL PUBLIC RECORDS WILLIAMSON COUNTY TEXAS
O.P.R.T.C.T.- OFFICIAL PUBLIC RECORDS TRAVIS COUNTY TEXAS
D.R.W.C.T.- DEED RECORDS WILLIAMSON COUNTY TEXAS

FINAL PLAT
PEARLWAY OFFICE PARK
DOC. NO. 200500126
O.P.R.T.C.T.
BLOCK "A"
LOT 3

FINAL PL
PEARLWAY OFF
DOC. NO. 201
O.P.R.T.
BLOCK
LOT



PAGE 2 OF 3

PROJECT NO. 1283-10852	DESIGNED BY: RJ
FILE NO. Preliminary.dwg	DRAWN BY: RJ
DATE: 10/15	CHECKED BY: SB
SCALE: AS SHOWN	REVIEWED BY: SB



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FAX (512)454-9933
TBPE FIRM #2946

REVISED PRELIMINARY PLAT FOR GLEN ELLYN SUBDIVISION

PARCEL AREA			
PARCEL #	BLOCK #	AREA	DESCRIPTION
1	A	13309.18 SF	OPEN SPACE
2	A	10173.43 SF	SINGLE FAMILY
3	A	12492.45 SF	SINGLE FAMILY
4	A	8274.79 SF	SINGLE FAMILY
5	A	10452.41 SF	SINGLE FAMILY
6	A	10913.90 SF	SINGLE FAMILY
7	A	6502.37 SF	SINGLE FAMILY
8	A	6491.23 SF	SINGLE FAMILY
9	A	6494.36 SF	SINGLE FAMILY
10	A	6509.11 SF	SINGLE FAMILY
11	A	6501.91 SF	SINGLE FAMILY
12	A	6887.99 SF	SINGLE FAMILY
13	A	8618.63 SF	SINGLE FAMILY
14	A	9449.55 SF	SINGLE FAMILY
15	A	9895.13 SF	SINGLE FAMILY
16	A	11224.26 SF	SINGLE FAMILY
17	A	8647.61 SF	SINGLE FAMILY
18	A	7466.60 SF	SINGLE FAMILY
19	A	6707.42 SF	SINGLE FAMILY
20	A	7698.71 SF	OPEN SPACE
21	A	16871.32 SF	OPEN SPACE
22	A	118680.68 SF	OPEN SPACE/STORM SEWER

PARCEL AREA			
PARCEL #	BLOCK #	AREA	DESCRIPTION
23	A	7459.82 SF	SINGLE FAMILY
24	A	6543.74 SF	SINGLE FAMILY
25	A	8500.00 SF	SINGLE FAMILY
26	A	7512.72 SF	SINGLE FAMILY
27	A	9039.90 SF	SINGLE FAMILY
28	A	8500.07 SF	SINGLE FAMILY
29	A	7385.47 SF	SINGLE FAMILY
30	A	13734.58 SF	SINGLE FAMILY
31	A	11220.40 SF	SINGLE FAMILY
32	A	13240.46 SF	SINGLE FAMILY
33	A	6111.10 SF	DRAINAGE LOT
34	A	7970.11 SF	SINGLE FAMILY
35	A	6516.44 SF	SINGLE FAMILY
36	A	6511.74 SF	DRAINAGE LOT
37	A	6507.03 SF	SINGLE FAMILY
38	A	6502.33 SF	SINGLE FAMILY
39	A	6504.25 SF	SINGLE FAMILY
40	A	6512.80 SF	SINGLE FAMILY
41	A	9448.73 SF	SINGLE FAMILY

PARCEL AREA			
PARCEL #	BLOCK #	AREA	DESCRIPTION
42	A	9663.63 SF	SINGLE FAMILY
43	A	6503.49 SF	SINGLE FAMILY
44	A	6503.18 SF	SINGLE FAMILY
45	A	6502.87 SF	SINGLE FAMILY
46	A	6502.56 SF	SINGLE FAMILY
47	A	6502.25 SF	SINGLE FAMILY
48	A	6501.94 SF	SINGLE FAMILY
49	A	6501.63 SF	SINGLE FAMILY
50	A	8724.04 SF	SINGLE FAMILY
51	A	12758.49 SF	SINGLE FAMILY
52	A	10218.86 SF	SINGLE FAMILY
53	A	6550.35 SF	SINGLE FAMILY
54	A	6750.00 SF	SINGLE FAMILY
55	A	6750.00 SF	SINGLE FAMILY
56	A	6750.00 SF	SINGLE FAMILY
57	A	6749.98 SF	SINGLE FAMILY
58	A	6526.22 SF	SINGLE FAMILY
59	A	10834.20 SF	SINGLE FAMILY
60	A	10818.95 SF	SINGLE FAMILY
61	A	2848.51 SF	DRAINAGE/P.U.E.
62	A	6514.74 SF	SINGLE FAMILY
63	A	6512.64 SF	SINGLE FAMILY
64	A	6512.69 SF	SINGLE FAMILY
65	A	6512.72 SF	SINGLE FAMILY
66	A	6512.75 SF	SINGLE FAMILY
67	A	6512.78 SF	SINGLE FAMILY
68	A	6512.81 SF	SINGLE FAMILY
69	A	6512.84 SF	SINGLE FAMILY
70	A	6512.87 SF	SINGLE FAMILY
71	A	6512.90 SF	SINGLE FAMILY
72	A	6512.94 SF	SINGLE FAMILY
73	A	6512.97 SF	SINGLE FAMILY
74	A	6875.59 SF	SINGLE FAMILY
75	A	8374.82 SF	SINGLE FAMILY
76	A	6503.96 SF	SINGLE FAMILY
77	A	6500.00 SF	SINGLE FAMILY
78	A	6500.00 SF	SINGLE FAMILY
79	A	6500.00 SF	SINGLE FAMILY
80	A	6500.00 SF	SINGLE FAMILY
81	A	6500.00 SF	SINGLE FAMILY
82	A	11268.03 SF	SINGLE FAMILY
83	A	10064.85 SF	SINGLE FAMILY
84	A	6501.37 SF	SINGLE FAMILY
85	A	9156.97 SF	SINGLE FAMILY
86	A	12797.41 SF	SINGLE FAMILY
87	A	6893.52 SF	SINGLE FAMILY
88	A	6743.45 SF	SINGLE FAMILY
89	A	6767.38 SF	SINGLE FAMILY
90	A	6758.94 SF	SINGLE FAMILY
91	A	6750.49 SF	SINGLE FAMILY
92	A	6742.04 SF	SINGLE FAMILY
93	A	6733.50 SF	SINGLE FAMILY
94	A	6725.15 SF	SINGLE FAMILY
95	A	6716.71 SF	SINGLE FAMILY
96	A	6708.26 SF	SINGLE FAMILY
97	A	6699.81 SF	SINGLE FAMILY
98	A	6891.37 SF	SINGLE FAMILY
99	A	6682.92 SF	SINGLE FAMILY
100	A	7874.88 SF	SINGLE FAMILY

PARCEL AREA			
PARCEL #	BLOCK #	AREA	DESCRIPTION
1	D	10835.83 SF	SINGLE FAMILY
2	D	7843.89 SF	SINGLE FAMILY
3	D	7808.05 SF	SINGLE FAMILY
4	D	6823.89 SF	SINGLE FAMILY
5	D	6500.00 SF	SINGLE FAMILY
6	D	6500.00 SF	SINGLE FAMILY
7	D	6500.00 SF	SINGLE FAMILY
8	D	7665.88 SF	SINGLE FAMILY
9	D	75185.81 SF	OPEN SPACE/DRAINAGE

PARCEL AREA			
PARCEL #	BLOCK #	AREA	DESCRIPTION
1	E	8382.50 SF	SINGLE FAMILY
2	E	7227.23 SF	SINGLE FAMILY
3	E	7215.87 SF	SINGLE FAMILY
4	E	7204.52 SF	SINGLE FAMILY
5	E	7193.17 SF	SINGLE FAMILY
6	E	7181.81 SF	SINGLE FAMILY
7	E	8907.22 SF	SINGLE FAMILY
8	E	10634.77 SF	SINGLE FAMILY
9	E	8689.86 SF	SINGLE FAMILY
10	E	10691.66 SF	SINGLE FAMILY
11	E	9379.26 SF	SINGLE FAMILY
12	E	7534.27 SF	SINGLE FAMILY
13	E	7534.27 SF	SINGLE FAMILY
14	E	11223.89 SF	SINGLE FAMILY

PARCEL AREA			
PARCEL #	BLOCK #	AREA	DESCRIPTION
1	F	7653.89 SF	SINGLE FAMILY
2	F	6479.98 SF	SINGLE FAMILY
3	F	6470.86 SF	SINGLE FAMILY
4	F	6461.73 SF	SINGLE FAMILY
5	F	6452.61 SF	SINGLE FAMILY
6	F	6443.49 SF	SINGLE FAMILY
7	F	7800.65 SF	SINGLE FAMILY
8	F	5229.69 SF	OPEN SPACE
9	F	9522.20 SF	SINGLE FAMILY
10	F	7087.55 SF	SINGLE FAMILY
11	F	6640.37 SF	SINGLE FAMILY
12	F	6500.00 SF	SINGLE FAMILY
13	F	8161.46 SF	SINGLE FAMILY
14	F	9256.14 SF	SINGLE FAMILY
15	F	6546.44 SF	SINGLE FAMILY
16	F	6540.32 SF	SINGLE FAMILY
17	F	6531.19 SF	SINGLE FAMILY
18	F	6522.07 SF	SINGLE FAMILY
19	F	9068.17 SF	SINGLE FAMILY

PARCEL AREA			
PARCEL #	BLOCK #	AREA	DESCRIPTION
1	G	8015.34 SF	SINGLE FAMILY
2	G	6500.05 SF	SINGLE FAMILY
3	G	6500.05 SF	SINGLE FAMILY
4	G	6500.05 SF	SINGLE FAMILY
5	G	6500.05 SF	SINGLE FAMILY
6	G	6500.05 SF	SINGLE FAMILY
7	G	6500.05 SF	SINGLE FAMILY
8	G	6500.05 SF	SINGLE FAMILY
9	G	6500.05 SF	SINGLE FAMILY
10	G	6500.05 SF	SINGLE FAMILY
11	G	6500.05 SF	SINGLE FAMILY
12	G	6500.05 SF	SINGLE FAMILY
13	G	8121.60 SF	SINGLE FAMILY
14	G	10242.88 SF	SINGLE FAMILY
15	G	6547.49 SF	SINGLE FAMILY
16	G	6539.37 SF	SINGLE FAMILY
17	G	6529.25 SF	SINGLE FAMILY
18	G	6523.12 SF	SINGLE FAMILY
19	G	7677.93 SF	SINGLE FAMILY
20	G	15867.34 SF	SINGLE FAMILY
21	G	12746.38 SF	SINGLE FAMILY
22	G	11315.19 SF	SINGLE FAMILY
23	G	10893.87 SF	SINGLE FAMILY
24	G	10282.91 SF	SINGLE FAMILY
25	G	6794.76 SF	SINGLE FAMILY
26	G	5738.41 SF	SINGLE FAMILY
27	G	4688.13 SF	OPEN SPACE
28	G	2743.58 SF	OPEN SPACE

PARCEL AREA			
PARCEL #	BLOCK #	AREA	DESCRIPTION
1	H	7665.94 SF	SINGLE FAMILY
2	H	6500.00 SF	SINGLE FAMILY
3	H	6500.00 SF	SINGLE FAMILY
4	H	6500.00 SF	SINGLE FAMILY
5	H	6500.00 SF	SINGLE FAMILY
6	H	6500.00 SF	SINGLE FAMILY
7	H	6500.00 SF	SINGLE FAMILY
8	H	6500.00 SF	SINGLE FAMILY
9	H	6500.00 SF	SINGLE FAMILY
10	H	6500.00 SF	SINGLE FAMILY
11	H	6500.00 SF	SINGLE FAMILY
12	H	6501.30 SF	SINGLE FAMILY
13	H	7671.44 SF	SINGLE FAMILY
14	H	6675.98 SF	SINGLE FAMILY
15	H	6500.00 SF	SINGLE FAMILY
16	H	6500.00 SF	SINGLE FAMILY
17	H	8420.54 SF	SINGLE FAMILY
18	H	8358.68 SF	OPEN SPACE
19	H	10544.90 SF	SINGLE FAMILY
20	H	8738.23 SF	SINGLE FAMILY
21	H	8066.60 SF	SINGLE FAMILY
22	H	6500.00 SF	SINGLE FAMILY
23	H	6500.00 SF	SINGLE FAMILY
24	H	6500.00 SF	SINGLE FAMILY
25	H	6500.00 SF	SINGLE FAMILY
26	H	6500.00 SF	SINGLE FAMILY
27	H	6500.00 SF	SINGLE FAMILY

PARCEL AREA			
PARCEL #	BLOCK #	AREA	DESCRIPTION
28	H	6500.00 SF	SINGLE FAMILY
29	H	6500.00 SF	SINGLE FAMILY
30	H	6500.00 SF	SINGLE FAMILY
31	H	6500.00 SF	SINGLE FAMILY
32	H	7665.80 SF	SINGLE FAMILY

PARCEL AREA			
PARCEL #	BLOCK #	AREA	DESCRIPTION
1	I	11632.01 SF	OPEN SPACE
2	I	7865.87 SF	SINGLE FAMILY
3	I	6500.00 SF	SINGLE FAMILY
4	I	11384.85 SF	SINGLE FAMILY
5	I	12747.44 SF	SINGLE FAMILY
6	I	10979.11 SF	SINGLE FAMILY
7	I	10021.50 SF	SINGLE FAMILY
8	I	8500.12 SF	SINGLE FAMILY
9	I	8716.10 SF	SINGLE FAMILY
10	I	8932.08 SF	SINGLE FAMILY
11	I	10986.38 SF	SINGLE FAMILY
12	I	2322.74 SF	OPEN SPACE

PARCEL AREA			
PARCEL #	BLOCK #	AREA	DESCRIPTION
1	J	220281.131 SF	LIGHT INDUSTRIAL/COMMERCIAL

METES AND BOUNDS DESCRIPTION

BEING 102.158 ACRES OF LAND OUT OF THE WILLIAM BARKER SURVEY NUMBER 74 IN TRAVIS COUNTY AND WILLIAMSON COUNTY, TEXAS AND THE MEMUCAN HUNT SURVEY, ABSTRACT NUMBER 314 IN WILLIAMSON COUNTY, TEXAS AND CONSISTING OF FIVE TRACTS OF LAND: 1.) A 51.65 ACRE TRACT CONVEYED TO CONTINENTAL HOMES OF TEXAS, L.P. BY INSTRUMENT OF RECORD IN DOCUMENT NUMBER 2015102511 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS; 2.) THE REMAINDER OF A 17 ACRE TRACT CONVEYED TO DAUGHTERY FAMILY REGISTERED LIMITED LIABILITY PARTNERSHIP #1 BY INSTRUMENT OF RECORD IN DOCUMENT NUMBER 9887311 OF THE OFFICIAL RECORDS OF WILLIAMSON COUNTY, TEXAS; 3.) THE REMAINDER OF AN 82.83 ACRE TRACT CONVEYED TO DAUGHTERY FAMILY REGISTERED LIMITED LIABILITY PARTNERSHIP #1 BY INSTRUMENT OF RECORD IN DOCUMENT NUMBER 9867308, BOTH OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS; 4.) THE REMAINDER OF A TRACT (NO ACREAGE SPECIFIED) CONVEYED TO DAUGHTERY FAMILY REGISTERED LIMITED LIABILITY PARTNERSHIP #1 BY INSTRUMENT OF RECORD IN DOCUMENT NUMBER 9867310 AND KNOWN AS "EDVILLE LANE", SAVE AND EXCEPTING THEREFROM AN 87 SQUARE FOOT TRACT CONVEYED TO COUNTY OF WILLIAMSON BY INSTRUMENT OF RECORD IN DOCUMENT NUMBER 2012048721 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS; AND 5.) A 2.101 ACRE TRACT CONVEYED TO DAUGHTERY FAMILY REGISTERED, LLP #1 BY INSTRUMENT OF RECORD IN DOCUMENT NUMBER 2015046052 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A CONCRETE MONUMENT FOUND FOR THE NORTHEAST CORNER OF SAID 51.65 ACRE TRACT BEING THE SOUTHEAST CORNER OF LOT 1, BLOCK "D" OF SPRING RIDGE SECTION ONE; A SUBDIVISION OF RECORD IN DOCUMENT NUMBER 9728717 OF THE OFFICIAL RECORDS OF WILLIAMSON COUNTY, TEXAS AND ALSO BEING IN THE WEST RIGHT-OF-WAY LINE OF SCHULTZ LANE (R.O.W. VARIES); FROM WHICH A 1/2" REBAR FOUND IN THE EAST RIGHT-OF-WAY LINE OF SAID SCHULTZ LANE, BEING THE WEST LINE OF LOT 1, BLOCK A, SPRINGBROOK APARTMENTS PHASE 2 BEARS SOUTH 69°10'17" EAST A DISTANCE OF 5871 FEET.

THENCE SOUTH 27°30'18" WEST (RECORD: SOUTH 27°30'18" WEST), ALONG THE EAST LINE OF THE 51.65 ACRE TRACT AND THE WEST RIGHT-OF-WAY LINE OF SAID SCHULTZ LANE A DISTANCE OF 1316.95 FEET (RECORD: 1316.95 FEET) TO A 112" REBAR SET WITH PLASTIC CAP, STAMPED "BASELINE, INC." FOR THE SOUTHEAST CORNER OF THE 51.65 ACRE TRACT AND BEING IN THE WEST RIGHT-OF-WAY LINE OF SCHULTZ LANE.

THENCE NORTH 78°19'51" WEST (RECORD: NORTH 78°19'51" WEST), ALONG THE SOUTH LINE OF THE 51.65 ACRE TRACT AND THE WEST RIGHT-OF-WAY LINE OF SCHULTZ LANE, PASSING AT A DISTANCE OF 15.58 FEET (RECORD: 15.58 FEET) A 112" REBAR FOUND FOR THE NORTHEAST CORNER OF LOT 9, BLOCK "A", CORRECTION FINAL PLAT PFLUGERVILLE HEIGHTS, A SUBDIVISION OF RECORD IN DOCUMENT NUMBER 200403516 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS AND CONTINUE ALONG THE SOUTH LINE OF THE 51.65 ACRE TRACT AND THE NORTH LINE OF SAID LOT 9 AND LOT 8, BLOCK A, OF SAID CORRECTION FINAL PLAT PFLUGERVILLE HEIGHTS, THE NORTH LINE OF THE AREA DESIGNATED AS RIGHT-OF-WAY FOR STEVE RAY DRIVE, THE NORTH LINE OF LOTS 15-7, BLOCK "E", CORRECTION FINAL PLAT PFLUGERVILLE HEIGHTS AND THE NORTH LINE OF LOT 3, BLOCK "A" OF FAIRWAY OFFICE PARK, A SUBDIVISION OF RECORD IN DOCUMENT NUMBER 200500126 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS FOR A TOTAL DISTANCE OF 1412.81 FEET TO A 112" REBAR SET WITH PLASTIC CAP, STAMPED "BASELINE, INC." FOR THE SOUTHWEST CORNER OF THE 51.65 ACRE TRACT, BEING THE SOUTHEAST CORNER OF SAID REMAINDER OF AN 82.83 ACRE TRACT AND BEING IN THE NORTH LINE OF SAID LOT 3, BLOCK "A", FAIRWAY OFFICE PARK.

THENCE CONTINUE NORTH 78°19'51" WEST (RECORD: NORTH 78°37' WEST), ALONG THE SOUTH LINE OF THE REMAINDER OF SAID 82.83 ACRE TRACT AND THE NORTH LINE OF LOT 3, BLOCK "A", FAIRWAY OFFICE PARK, PASSING AT A DISTANCE OF 386.54 FEET A 1/2" REBAR FOUND FOR THE NORTHEAST CORNER OF LOT 3, BLOCK "A", FAIRWAY OFFICE PARK, BEING THE NORTHEAST CORNER OF A 17.881 ACRE TRACT OF LAND CONVEYED TO C.J. GRIMES, L.P. BY INSTRUMENT OF RECORD IN DOCUMENT NUMBER 2012080476 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS AND CONTINUE ALONG THE SOUTH LINE OF THE REMAINDER OF AN 82.83 ACRE TRACT AND THE NORTH LINE OF SAID 17.881 ACRE TRACT FOR A TOTAL DISTANCE OF 1411.44 FEET TO A 112" REBAR FOUND IN THE SOUTH LINE OF THE REMAINDER OF AN 82.83 ACRE TRACT, BEING THE NORTHWEST CORNER OF THE 17.881 ACRE TRACT AND ALSO BEING THE NORTHEAST CORNER OF SAID TRACT OF UNSPECIFIED ACREAGE CONVEYED TO DAUGHTERY FAMILY REGISTERED LIMITED LIABILITY PARTNERSHIP #1 AND KNOWN AS "EDVILLE LANE".

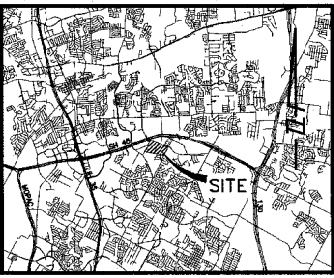
THENCE SOUTH 27°45'50" WEST (RECORD: SOUTH 28° WEST), ALONG THE EAST LINE OF EDVILLE LANE AND THE WEST LINE OF THE 17.881 ACRE TRACT A DISTANCE OF 574.63 FEET (RECORD: 575.16 FEET) TO A 112" REBAR FOUND WITH CAP, STAMPED "BAKER ACKLEN & ASSOC." FOR THE SOUTHEAST CORNER OF EDVILLE LANE, BEING THE NORTHEAST CORNER OF SAID 87 SQUARE FOOT TRACT CONVEYED TO THE COUNTY OF WILLIAMSON AND BEING IN THE NORTH RIGHT-OF-WAY LINE OF SOUTH A.W. GRIMES BOULEVARD (100' R.O.W.), FROM WHICH A CALCULATED POINT FOR THE NORTHEAST CORNER OF A 20.822 ACRE TRACT OF LAND CONVEYED TO SOVRAN ACQUISITION LIMITED PARTNERSHIP BY INSTRUMENT OF RECORD IN DOCUMENT NUMBER 2004082343 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS, BEING THE NORTHEAST CORNER OF A 1.52 ACRE TRACT OF LAND CONVEYED TO ADOLPH PRIEM BY INSTRUMENT OF RECORD IN DOCUMENT 2008, PAGE 239 OF THE DEED RECORDS OF TRAVIS COUNTY, TEXAS AND BEING IN THE SOUTH RIGHT-OF-WAY LINE OF SAID SOUTH A.W. GRIMES BOULEVARD (100' R.O.W.) BEARS SOUTH 39°48'24" WEST A DISTANCE OF 122.26 FEET.

THENCE ALONG THE SOUTH LINE OF EDVILLE LANE AND THE NORTH RIGHT-OF-WAY LINE OF SOUTH A.W. GRIMES BOULEVARD, BEING A NON-TANGENTIAL CURVE TO THE LEFT, HAVING A RADIUS OF 1560.00 FEET (RECORD: 1560.00 FEET), A LENGTH OF 26.04 FEET (RECORD: 26.04 FEET), A DELTA ANGLE OF 0°57'42" (RECORD: 0°57'42") AND A CHORD, WHICH BEARS NORTH 38°53'53" WEST A DISTANCE OF 26.01 FEET (RECORD: NORTH 39°05'01" WEST A DISTANCE OF 26.06 FEET) TO A 112" REBAR FOUND WITH CAP, STAMPED "ADVANCED SURVEYING" FOR THE SOUTHWEST CORNER OF EDVILLE LANE, BEING THE SOUTHEAST CORNER OF THE REMAINDER OF A 10.00 ACRE TRACT OF LAND CONVEYED TO JUDITH L. DAVIS BY INSTRUMENT OF RECORD IN DOCUMENT NUMBER 2008059288 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS; FROM WHICH A 1/2" REBAR WITH CAP STAMPED "BAKER ACKLEN & ASSOC." FOR THE NORTHEAST CORNER OF THE REMAINDER OF A 0.511 ACRE TRACT OF LAND CONVEYED TO MANVILLE WATER SUPPLY CORPORATION BY INSTRUMENT OF RECORD IN VOLUME 59, PAGE 98 OF THE DEED RECORDS OF WILLIAMSON COUNTY, TEXAS, BEING THE NORTHWEST CORNER OF SAID 1.52 ACRE TRACT AND BEING IN THE SOUTH RIGHT-OF-WAY LINE OF SOUTH A.W. GRIMES BOULEVARD BEARS SOUTH 37°51'06" WEST A DISTANCE OF 122.77 FEET.

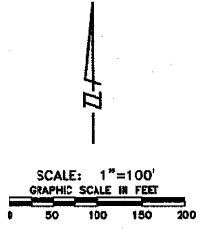
THENCE NORTH 27°54'06" EAST (RECORD: NORTH 29° EAST), ALONG THE WEST LINE OF EDVILLE LANE AND THE EAST LINE OF SAID REMAINDER OF A 10.00 ACRE TRACT A DISTANCE OF 558.07 FEET TO A CONCRETE MONUMENT FOUND FOR THE NORTHWEST CORNER OF EDVILLE LANE, BEING THE SOUTHWEST CORNER OF THE REMAINDER OF AN 82.83 ACRE TRACT.

THENCE NORTH 27°36'19" EAST (RECORD: NORTH 29°21' EAST), ALONG THE WEST LINE OF THE REMAINDER OF AN 82.83 ACRE TRACT AND THE EAST LINE OF THE REMAINDER OF A 10.00 ACRE TRACT AND THE EAST LINE OF A 7.49 ACRE TRACT OF LAND CONVEYED TO ALPHA VESTINGHOUSE VENTURES, L.L.C. BY INSTRUMENT OF RECORD IN DOCUMENT NUMBER 2015046891 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS A DISTANCE OF 1088.43 FEET TO A CALCULATED POINT FOR THE NORTHEAST CORNER OF SAID 7.49 ACRE TRACT, BEING THE SOUTHEAST CORNER OF SAID 2.101 ACRE TRACT CONVEYED TO DAUGHTERY FAMILY REGISTERED LLP #1 AND BEING THE NORTHEAST CORNER OF A 50' INGRESS-EGRESS EASEMENT, OF RECORD IN DOCUMENT NUMBER 560, PAGE 234 OF THE DEED RECORDS OF WILLIAMSON COUNTY, TEXAS AND BEING KNOWN AS "ROUNDVILLE LANE".

THENCE NORTH 42°40'39" WEST (RECORD: NORTH 43°01'35" WEST) ALONG THE SOUTH LINE OF THE 2.101 ACRE TRACT AND THE NORTH LINE OF SAID 50' INGRESS-EGRESS EASEMENT, PASSING AT A DISTANCE OF 0.8 FEET A 112" REBAR FOUND AND CONTINUING FOR A TOTAL DISTANCE OF 52.76 FEET (RECORD: 52.15 FEET) TO A 112" REBAR FOUND FOR THE SOUTHERNMOST SOUTHWEST CORNER OF THE



REVISED PRELIMINARY TREE PRESERVATION PLAN FOR GLEN ELLYN

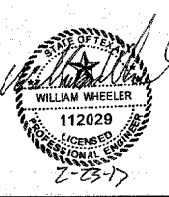


TREE LEGEND

- TREES TO REMAIN
- TREES TO BE REMOVED
- MONARCH TREE

TREE LIST-SECTION 1		
TAG #	DESCRIPTION	DIA.
*2616	DEAD	14
2617	HACKBERRY	9M
2618	HACKBERRY	20
2619	HACKBERRY	12M
2620	HACKBERRY	18M
2621	HACKBERRY	8M
2622	HACKBERRY	27
2623	ELM	20M
2624	LIVE OAK	27
2625	ELM	13M
2626	ELM	25M
2627	ELM	18
*2628	ELM	20
*2629	ELM	14M
2630	ELM	18
2631	DEAD	13
2632	ELM	14M
*2633	ELM	16
2634	DEAD	8
2635	DEAD	13M
*2636	ELM	22M
*2637	DEAD	20
*2638	MESQUITE	10M
*2639	ELM	23M
2640	DEAD	13
*2641	ELM	22M
2642	DEAD	22
*2643	E.M	21
*2644	E.M	21M
*2645	E.M	18
2646	DEAD	27M
2647	E.M	25M
*2648	E.M	22

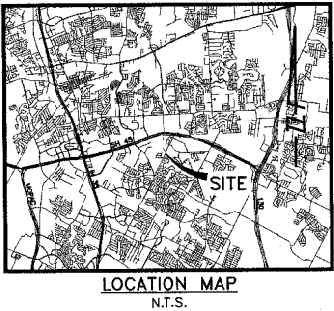
* TREES TO BE REMOVED



PROJECT NO. 1263-10852	DESIGNED BY: RJ
FILE NO. Preliminary.dwg	DRAWN BY: RJ
DATE: 10/15	CHECKED BY: SB
SCALE: AS SHOWN	REVIEWED BY: S3

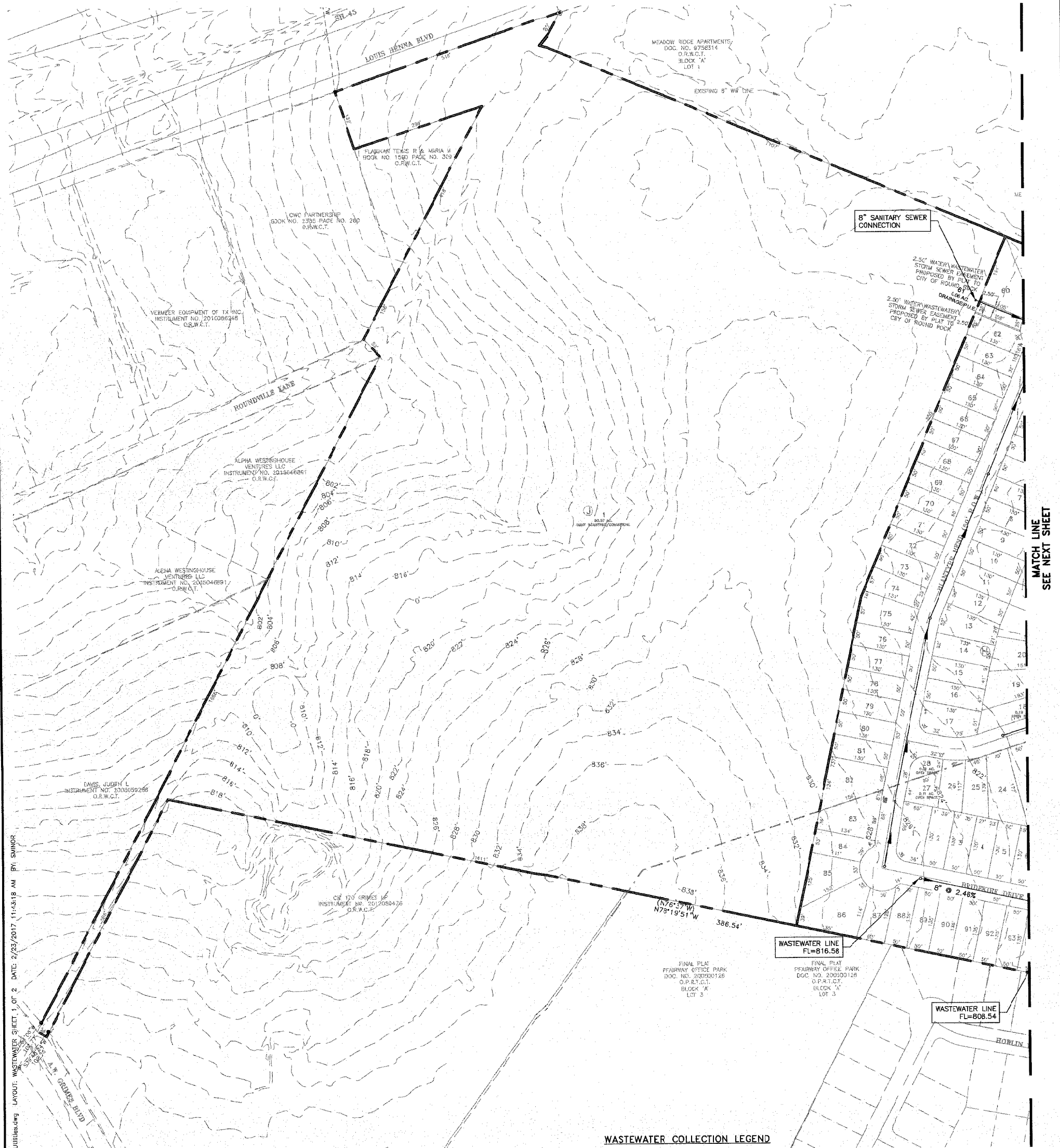
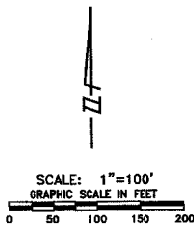
8834 N. Capital of Texas Hwy.
Austin, Texas 78755
Suite 140
(512)452-0371
FAX (512)454-9933
TBPE FIRM #2946

FILE: H:\Projects\1263-10852 Glen Ellyn Tract\CAD\Drawings\Tree\Tree.dwg LAYOUT: TREES DATE: 2/23/2017 11:42:52 AM BY: SMINOR



REVISED GLEN ELLYN SUBDIVISION
PRELIMINARY WASTEWATER PLAN
102.12 ACRES

SHEET 1 OF 2

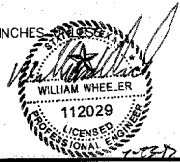


WASTEWATER COLLECTION LEGEND

- PROPOSED WW LINE
- EXISTING WW LINE
- PROPOSED MANHOLE
- EXISTING MANHOLE
- DIRECTION OF FLOW
- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS

NOTES:

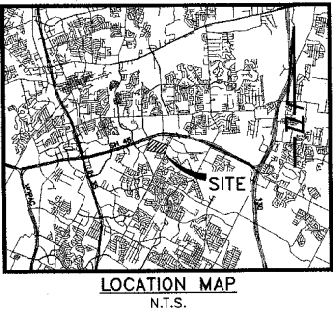
- ALL WASTEWATER LINES SHALL BE 8-INCHES UNLESS OTHERWISE SHOWN.



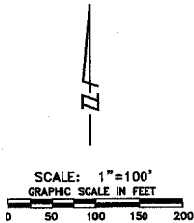
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FILE NO. Utilities.dwg	DRAWN BY: RJ
DATE: 10/15	CHECKED BY: SB
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REVISED GLEN ELLYN SUBDIVISION
PRELIMINARY WASTEWATER PLAN
102.12 ACRES
(SHEET 2 OF 2)

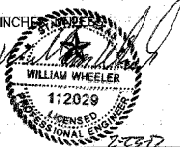


WASTEWATER COLLECTION LEGEND

- PROPOSED WW LINE
- EXISTING WW LINE
- PROPOSED MANHOLE
- EXISTING MANHOLE
- DIRECTION OF FLOW
- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS

NOTES:

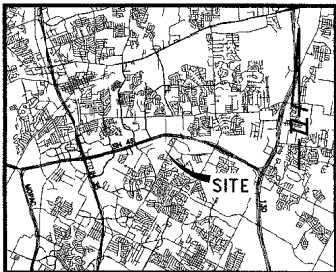
ALL WASTEWATER LINES SHALL BE 8-INCH UNLESS OTHERWISE SHOWN.



PROJECT NO. 1283-10852	DESIGNED BY: RJ
FILE NO. Utilities.dwg	DRAWN BY: RJ
DATE: 10/15	CHECKED BY: SB
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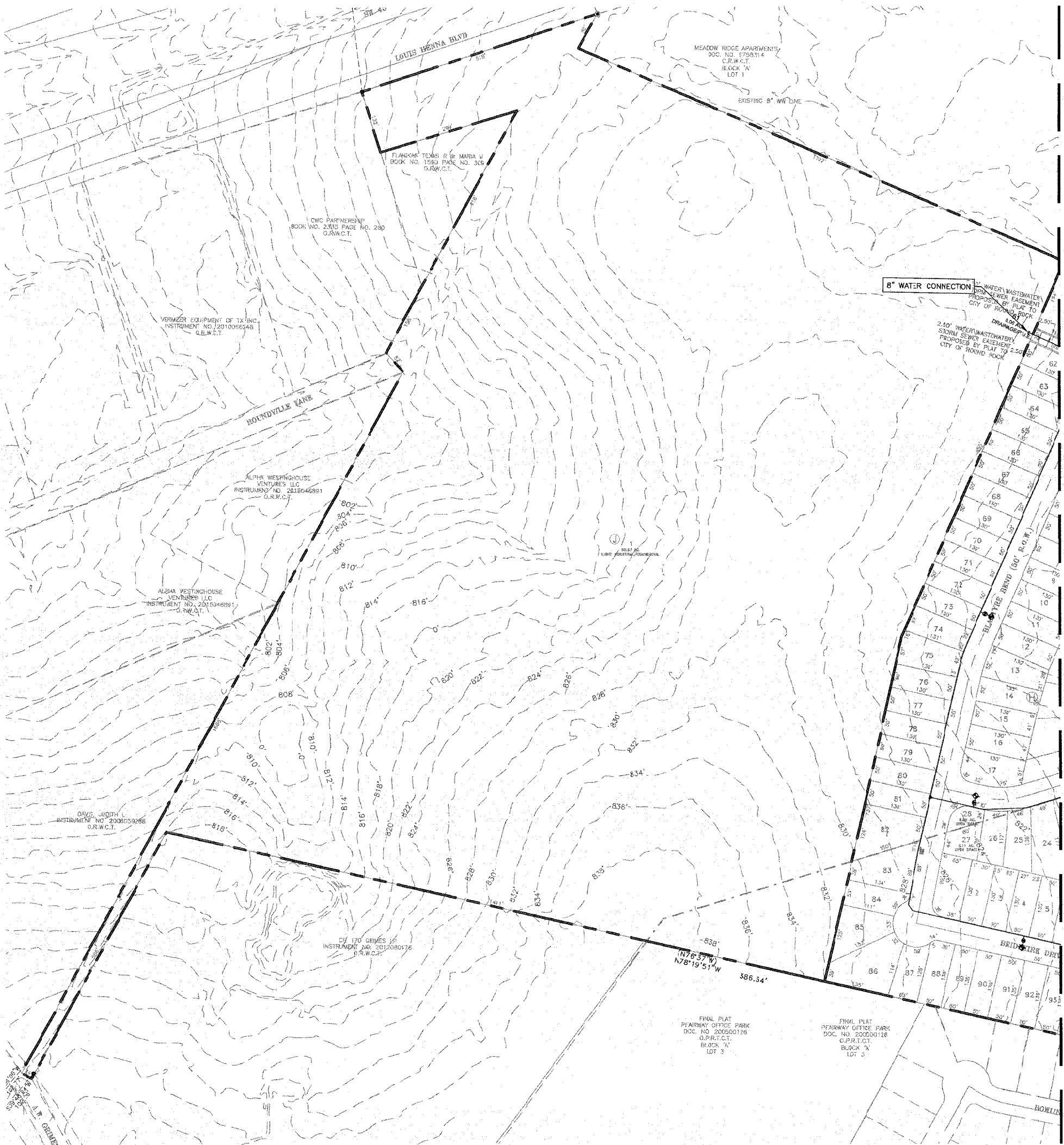
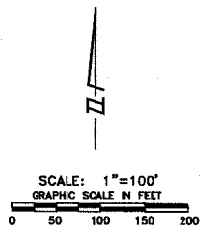


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REVISED GLEN ELLYN SUBDIVISION
PRELIMINARY WATER PLAN
102.12 ACRES

SHEET 1 OF 2



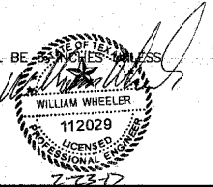
MATCH LINE
SEE NEXT SHEET

WATER DISTRIBUTION LEGEND

- PROPOSED WATER LINE
- EXISTING WATER LINE
- PROPOSED FIRE HYDRANT ASSEMBLY
- PROPOSED GATE VALVE
- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS

NOTES:

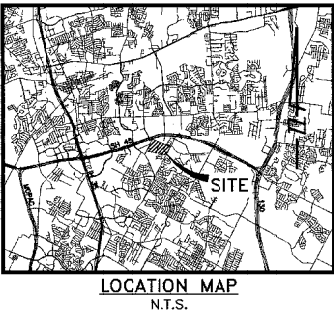
1. ALL WATER LINES SHALL BE AS SHOWN UNLESS OTHERWISE SHOWN.



PROJECT NO.	1283-10852	DESIGNED BY:	RJ
FILE NO.	Utilities.dwg	DRAWN BY:	RJ
DATE:	10/15	CHECKED BY:	SB
SCALE:	AS SHOWN	REVIEWED BY:	SB

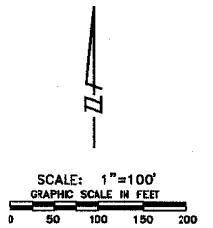


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REVISED GLEN ELLYN SUBDIVISION PRELIMINARY WATER PLAN 102.12 ACRES

SHEET 2 OF 2

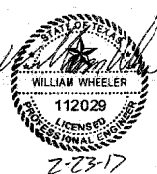


WATER DISTRIBUTION LEGEND

- PROPOSED WATER LINE
- EXISTING WATER LINE
- PROPOSED FIRE HYDRANT ASSEMBLY
- PROPOSED GATE VALVE
- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS

NOTES:

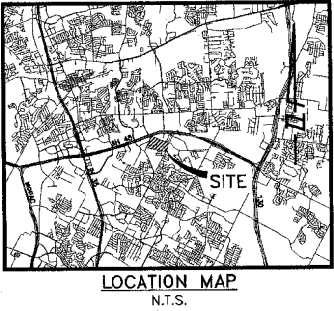
- ALL WATER LINES SHALL BE 8-INCHES UNLESS OTHERWISE SHOWN.



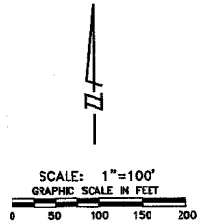
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REVISED GLEN ELLYN SUBDIVISION
PRELIMINARY DRAINAGE PLAN
102.12 ACRES
SHEET 1 OF 2



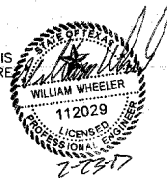
MATCH LINE
SEE NEXT SHEET

DRAINAGE PLAN LEGEND

- PROPERTY BOUNDARY
- PROPOSED STORM SEWER LINE
- PROPOSED DRAINAGE BOUNDARY
- FLOW ARROW
- EXISTING MAJOR CONTOURS
- EXISTING MINOR CONTOURS

NOTE:

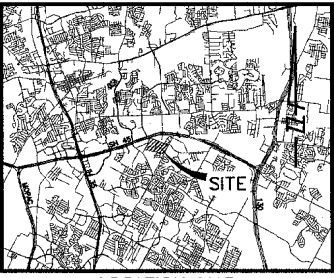
DRAINAGE SCHEMATIC IS
PRELIMINARY IN NATURE



PROJECT NO.	1283-10852	DESIGNED BY:	RJ
FILE NO.	Utilities.cwg	DRAWN BY:	RJ
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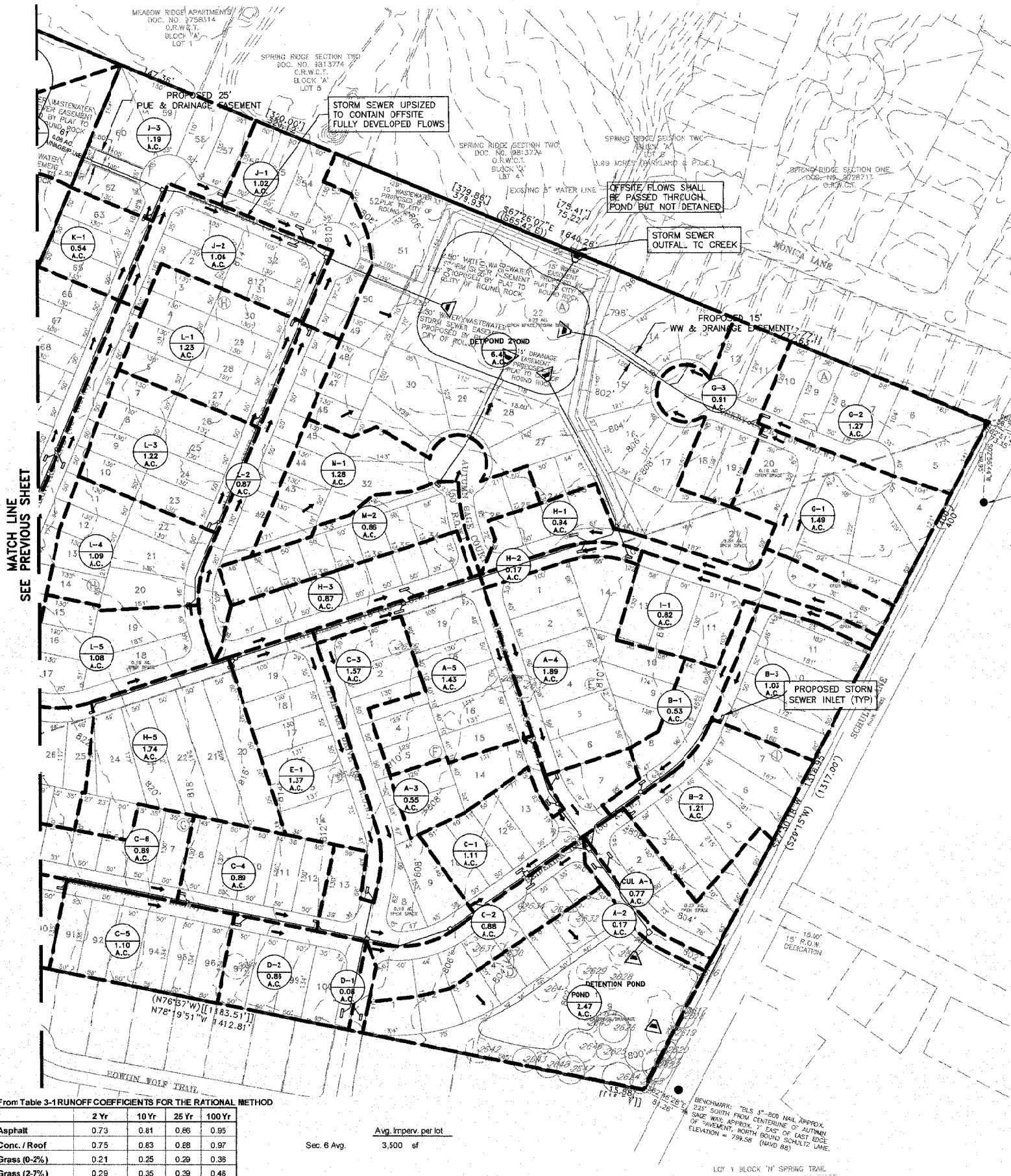
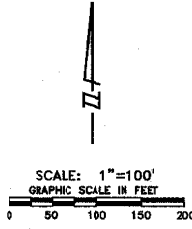


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REVISED GLEN ELLYN SUBDIVISION
PRELIMINARY DRAINAGE PLAN
102.12 ACRES

SHEET 2 OF 2



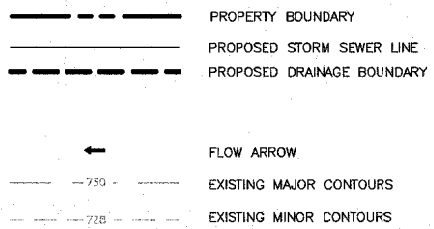
From Table 3-1 RUNOFF COEFFICIENTS FOR THE RATIONAL METHOD

	2 Yr	10 Yr	25 Yr	100 Yr
Asphalt	0.73	0.81	0.86	0.95
Conc. / Roof	0.75	0.83	0.88	0.97
Grass (0-2%)	0.21	0.25	0.29	0.38
Grass (2-7%)	0.29	0.35	0.39	0.46
Grass (7%+)	0.34	0.40	0.44	0.51

City of Round Rock Drainage Criteria Manual

Glen Ellyn

Drainage Area	Total Area (Ac)	Total Area (sf)	STREET				Num Homes in Area	IMPERVIOUS			GRASS			Composite 25 Yr "C"	Composite 100 Yr "C"	
			Street Length (ft)	Area Street (sf)	Area Street (Ac)	Area Street (%)		Area Imper. (sf)	Area Imper. (Ac)	Area Imper. (%)	Area Grass (sf)	Area Grass (Ac)	Area Grass (%)			
Section 6																
1	1.07	46,809	208	3,224	0.07	6.9%	5.0	17,500	0.40	37.5%	25,885	0.59	55.6%	0.61	0.69	
2	1.18	51,401	599	9,285	0.21	18.1%	5.5	19,250	0.44	37.5%	22,866	0.52	44.5%	0.66	0.74	
3	0.92	40,075	250	3,875	0.09	9.7%	5.0	17,500	0.40	43.7%	18,700	0.43	46.7%	0.65	0.73	
4	0.73	31,199	200	3,100	0.07	9.7%	4.0	14,000	0.32	44.0%	14,699	0.34	46.2%	0.65	0.73	
5	1.13	49,223	435	6,743	0.15	13.7%	4.5	15,750	0.36	32.0%	26,730	0.61	54.3%	0.61	0.69	
6	1.08	46,174	273	4,232	0.10	9.2%	3.5	12,250	0.28	29.5%	29,692	0.68	64.3%	0.66	0.64	
7	0.71	30,928	226	3,503	0.08	11.3%	3.0	10,500	0.24	34.0%	16,925	0.39	54.7%	0.61	0.69	
8	0.76	33,106	155	2,403	0.06	7.3%	4.5	15,750	0.36	47.6%	14,953	0.34	45.2%	0.66	0.74	
9	1.48	63,598	405	6,278	0.14	9.9%	7.0	24,500	0.56	38.5%	32,820	0.75	51.6%	0.63	0.70	
10	0.82	35,719	530	8,215	0.19	23.0%	2.0	7,000	0.16	19.6%	20,504	0.47	57.4%	0.59	0.67	
11	1.34	58,370	368	5,704	0.13	9.8%	4.5	15,750	0.36	27.0%	36,916	0.85	63.2%	0.57	0.65	
12	1.31	57,664	260	4,030	0.09	7.1%	5.0	17,500	0.40	33.7%	35,534	0.82	62.3%	0.57	0.65	
13	1.11	48,352	580	8,990	0.21	18.6%	4.0	14,000	0.32	23.0%	25,362	0.58	52.5%	0.62	0.70	
14	1.97	85,813	800	9,300	0.21	10.8%	6.0	21,000	0.48	24.5%	55,513	1.27	64.7%	0.56	0.64	
15	0.95	41,382	280	4,340	0.10	10.5%	5.0	17,500	0.40	42.3%	19,542	0.45	47.2%	0.65	0.73	
16	0.32	13,939	245	3,798	0.09	27.2%	1.0	3,500	0.08	25.1%	6,642	0.15	47.6%	0.64	0.72	
17	0.81	26,572	555	8,503	0.20	32.4%	1.5	5,250	0.12	18.8%	12,719	0.29	47.9%	0.64	0.72	
18	1.20	52,272	838	9,889	0.23	18.9%	4.5	15,750	0.36	33.1%	26,833	0.61	51.0%	0.63	0.71	
19	0.88	37,462	375	5,813	0.13	15.5%	4.0	14,000	0.32	37.4%	17,648	0.41	47.1%	0.65	0.73	
20	0.93	40,511	260	4,030	0.09	9.9%	5.0	17,500	0.40	43.2%	18,981	0.44	46.9%	0.65	0.73	
21	1.88	72,310	205	3,178	0.07	4.4%	6.5	22,750	0.52	31.5%	46,382	1.06	64.1%	0.66	0.64	
22	1.38	59,242	515	7,983	0.18	13.5%	3.5	12,250	0.28	20.7%	39,008	0.90	65.8%	0.55	0.63	
23	1.20	52,272	300	4,550	0.11	8.9%	5.0	17,500	0.40	33.5%	30,122	0.69	57.6%	0.60	0.67	
24	1.10	47,816	284	4,402	0.10	9.2%	6.0	21,000	0.48	43.8%	22,514	0.52	47.0%	0.65	0.73	
25	1.37	59,677	550	8,525	0.20	14.3%	4.5	15,750	0.36	25.4%	35,402	0.81	59.3%	0.59	0.66	
26	1.64	71,438	725	11,238	0.26	15.7%	6.0	21,000	0.48	29.4%	39,201	0.90	54.9%	0.61	0.69	
27	1.04	45,302	211	3,271	0.08	7.2%	8.0	21,000	0.48	48.4%	21,032	0.48	48.4%	0.65	0.73	
28	1.32	57,498	964	10,292	0.24	17.9%	8.0	21,000	0.48	33.5%	26,207	0.66	45.6%	0.65	0.73	
29	1.08	47,945	300	4,500	0.11	9.9%	8.0	21,000	0.48	44.8%	21,395	0.49	45.5%	0.66	0.74	
30	0.98	42,689	200	3,100	0.07	7.3%	6.0	21,000	0.48	43.2%	18,588	0.43	43.5%	0.67	0.75	
31	0.90	39,204	265	4,108	0.09	10.5%	5.0	17,500	0.40	44.6%	17,597	0.40	44.9%	0.66	0.74	
32	0.73	31,199	506	7,843	0.18	24.7%	2.5	8,750	0.20	27.5%	15,208	0.35	47.8%	0.64	0.72	
33	1.04	45,302	260	4,030	0.09	8.9%	8.0	21,000	0.48	43.4%	20,272	0.47	44.7%	0.66	0.74	
34	1.09	47,480	260	4,030	0.09	8.5%	5.3	18,375	0.42	38.7%	25,075	0.58	52.8%	0.62	0.70	
35	1.36	59,242	230	3,565	0.08	6.0%	8.0	21,000	0.48	35.4%	34,877	0.80	58.5%	0.59	0.67	
36	1.06	46,174	550	8,525	0.20	18.5%	2.5	8,750	0.20	19.0%	28,899	0.66	62.6%	0.57	0.65	
37	1.06	46,174	387	5,889	0.13	12.3%	5.0	17,500	0.40	37.9%	22,985	0.53	49.8%	0.63	0.71	
38	0.29	12,632	370	5,735	0.13	45.4%	1.0	3,500	0.08	27.7%	3,397	0.08	26.9%	0.74	0.82	
39	18.94	737,989	9521	147,576	3.39	20.0%		442,744	10.16	60.0%	147,680	3.39	20.0%	0.78	0.86	
40	31.52	1,373,011	17,716	274,598	6.30	20.0%		823,807	18.91	60.0%	274,906	6.30	20.0%	0.78	0.86	
41	2.07	90,169	300	4,650	0.11	5.2%	1.0	3,500	0.08	3.9%	82,019	1.68	91.0%	0.43	0.51	



NOTE:
DRAINAGE SCHEMATIC IS PRELIMINARY IN NATURE

WILLIAM WHEELER
112029
7-27-17

PROJECT NO. 1283-10852	DESIGNED BY: R.J.
FILE NO. Utilities.dwg	DRAWN BY: R.J.
DATE: 10/15	CHECKED BY: S.B.
SCALE: AS SHOWN	REVIEWED BY: S.B.

GRAY ENGINEERING

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FILE: H:\Projects\1283-10852 Glen Ellyn Tract\CAD\Plots\Preim\Utilities.dwg LAYOUT: DRAINAGE SHEET 2 OF 2 DATE: 2/23/2017 11:43:59 AM BY: SMNOR